

# APPLICATION ARTICLE 85 DEMOLITION DELAY REVIEW

Mailing Address: Environment Dept Boston City Hall, Rm 709 Boston, MA 02201

For Office Use Only			
APPLICATION #			
COMPLETE ON			
SIGNIFICANT			
HEARING DATE			

PLEASE PRINT LEGIBLY. SCAN AND EMAIL TO BLC@BOSTON.GOV

I.	PROPERTY ADDRESS	120 West 4th Street	02127		
	33 A Street		ZIP CODE		
	NAME of PROPERTY				
The na	mes, phone numbers, postal and emant Department personnel cannot	il addresses requested below will be used for all subsequent communications be responsible for illegible, incomplete or inaccurate contact information pro	s relating to this application. ovided by applicant.		
II.	APPLICANT Brenco	Construction Company, Inc.			
	Michael Moore	General Contractor			
	CONTACT NAME	CONTACT NAME RELATIONSHIP TO PROPERTY			
	36 Central Avenue, C-2	Milton	MA 02186		
	MAILING ADDRESS	CITY	STATE ZIP CODE		
	617-719-2110	Brencoconstruction@gmail.com@g	gmail.com		
	PHONE	EMAIL			
	Michael Indresano - 33A St I	evelopment LLC			
	PROPERTY OWNER	CONTACT NAME  Posters			
	120 West fourth St - AKA - 33	j.	MA 02127		
	MAILING ADDRESS	CITY michael@indresano.com	STATE ZIP CODE		
	617.269.2400				
	PHONE	EMAIL			
III.	DOES THIS PROPOSED	PROJECT REQUIRE <b>ZONING RELIEF</b> ?			
		TE STATUS OF ZBA PROCESS			
	,	(If necessary, attach additional pages to pr	rovide more information.)		
IV.	DESCRIPTION OF PRO	POSED DEMOLITION: (REQUIRED)			
A BRI		SED WORK <i>MUST</i> BE GIVEN IN THE SPACE PROVIDED BELO	OW Describe the structure(s)		
be dem	olished, including the number of ex	sting housing units, and the number of new housing units to be constructed. A	Attachments are required to she		
details	about the proposed project.		1		
Rem	ove and dispose of existing 1-story	tructure.			
		*			

- V. REQUIRED DOCUMENTATION: The following is a list of documents that MUST be submitted with this application. Failure to include adequate documentation will cause a delay in the review process.
  - 1. PHOTOGRAPHS: Current, clear, high-quality color photographs of the property, properties affected by the proposed demolition, and surrounding areas must be labeled with addresses and dates. Major elevations of the building(s) and any deterioration or reason for demolition should be documented. Photographs of the subject property seen from a distance with neighboring properties are required. All photographs must be keyed to a map (see below) to provide a thorough location description. Images from the internet are not acceptable. There are no file size limits in the application, but a file size is than or equal to 20MB per photograph is preferred.
  - 2. **MAP:** A *current* and *clear* map showing the location of the property affected by the proposed demolition must be submitted with this application. The map must be a full-page-sized street map, such as from a BPDA locus map or an internet mapping site.
  - 3. **PLOT PLAN:** A plot plan showing the existing building footprint and those of buildings in the immediate vicinity must be submitted with this application. Assessing parcel maps will be accepted, if the footprint of the relevant structure(s) is illustrated.
  - 4. **PLANS and ELEVATIONS:** If a new structure is being planned, a site plan, building plans and elevations of the new structure(s) must be submitted. If no new building is planned, submit plans for site improvements and a written narrative describing the proposed use and treatment of parcel. (Parking, landscaping, clear debris, fill excavations, etc.)
  - 5. **PROOF OF OWNERSHIP:** Proof of ownership must be submitted with the application. A copy of a property deed, propert tax assessment bill, or other official documentation of property ownership is required.

NOTE: Copies of all documentation submitted with this application (photographs, maps, plot plans, etc.) should be retained by the applicant should additional copies be necessary for a commission hearing. Additional materials will be requested if a hearing is required.

VI. NOTARIZED\* SIGNATURES: Both the applicant's and the legal property owner's signatures must be notarized. In cases of multiple ownership, the chair of the condominium or cooperative association or authorized representative (such as a property manager shall sign as owner; in cases of institutional ownership, an authorized representative of the organization shall sign as owner.

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury

**APPLICANT** \*(If building is a condominium or cooperative, the chairman must sign.) Michael Moore Michael Indresano, Manager -33 A St Development LL **PRINT PRINT** 22, before mel the fundersigned On this 2 day of 1On this 2 day of May, 20 27 before me, the fundersigned Notary Public, personally \*\* appeared richael Notary Public, personally \*\* appeared Michael (name of document signer), proved to me through satisfactory evidence (name of document signer), proved to me through satisfactory evidence of identification, which were MA of identification, which were MA Driver License ( teca) to be the person whose name is signed on the preceding or attached to be the person whose name is signed on the preceding or attached document 9707 Bits 6400 upp document RICHARDEMARK FROIO Solitor Commission Expires kature and seal of Notary) Notary Public official signature and seal of Notary Commonwealth! Of Massachuseth Commonwealth of Massachusetts
My Commission Expires Motary Public RICHARD MARK FROIO January 2, 2026

\*\*During the declared state of emergency due to COVID-19, digital notarization is allowed.

Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

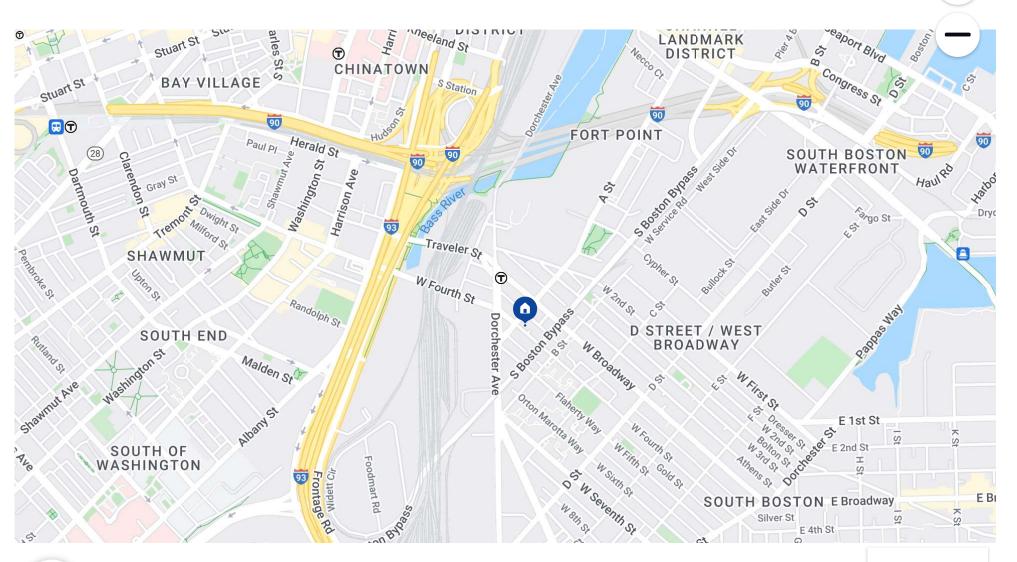
Please review all instructions and documentation requirements carefully before submitting your application. It is your responsibility to ensure the application is complete before submittal. **Incomplete applications will not be accepted.** 

Once you have submitted the application, staff will review for completeness and will be in touch about next steps.

Map Satellite Lot lines

Directions Save Home Share

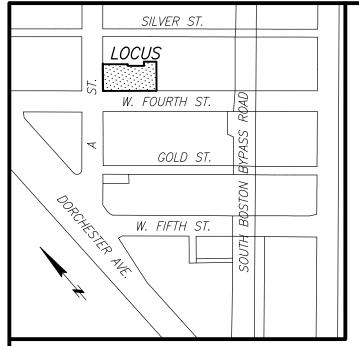




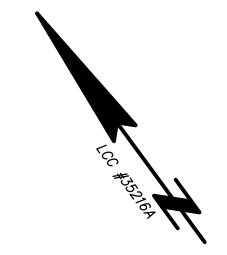
Google

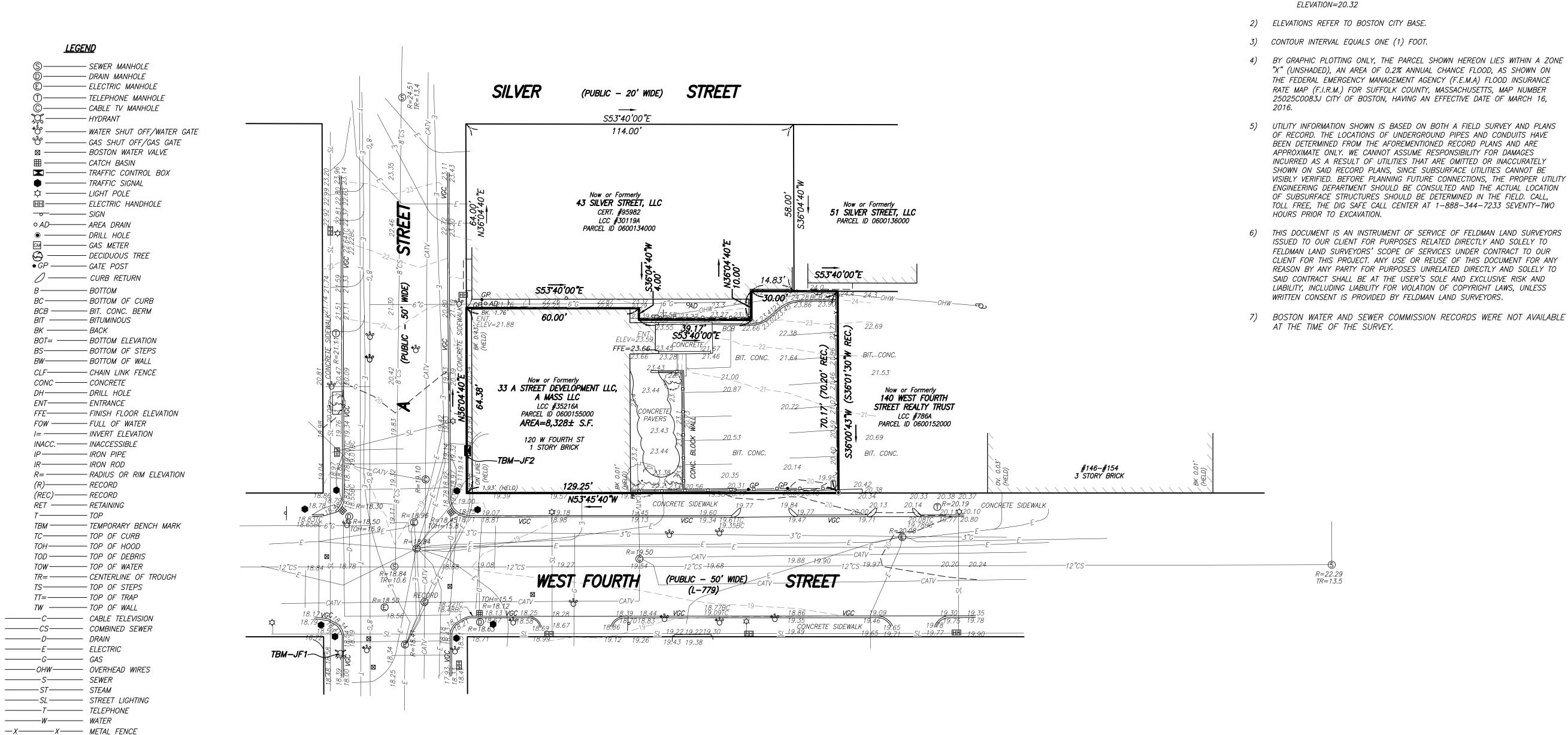
Map data ©2022 Google

Street View



LOCUS MAP - NOT TO SCALE





#### <u>REFERENCES</u>

MASSACHUSETTS LAND COURT

LCC 786A LCC 30119A LCC 35216A

CERTIFICATE OF TITLE CERT. #101174 CERT. #95982

CITY/TOWN ENGINEERING DEPARTMENT

SURVEY FIELD NOTE BOOK 765 PAGES 92-102 I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.

## **DRAFT 9-11-2020**

EXISTING CONDITIONS SURVEY 120 WEST FOURTH STREET

BOSTON (SOUTH BOSTON), MASS.

FELDMAN LAND SURVEYORS 152 HAMPDEN STREET BOSTON, MASS. 02119

NOTES:

1) BENCH MARK INFORMATION:

ROAD, AS SHOWN HEREON.

STREET, AS SHOWN HEREON.

ELEVATION=25.17

ELEVATION=21.16

TEMPORARY BENCH MARKS SET:

CHISELED SQUARE SET ON THE BRIDGE ABUTMENT NEAR THE

INTERSECTION OF THE NORTHEASTERLY SIDELINE OF WEST FIFTH STREET

TBM-FS1: X-CUT SET IN THE BOLT OVER MAIN OUTLET OF A HYDRANT ON THE SOUTHWESTERLY INTERSECTION OF WEST FOURTH STREET, AND A

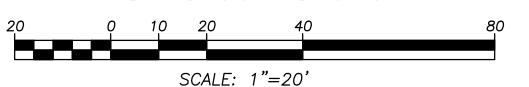
TBM-FS2: TOP OF SOUTHWESTERLY CORNER OF CONCRETE BASE OF A TRAFFIC CONTROL CABINET AT THE NORTHEASTERLY INTERSECTION OF

WEST FOURTH STREET AND A STREET, AS SHOWN HEREON.

AND THE NORTHWESTERLY SIDELINE OF THE SOUTH BOSTON BYPASS

BENCHMAR USED:

SEPTEMBER 10, 2020 PHONE: (617)357-9740 www.feldmansurveyors.com



RESEARCH TI	FIELD CHIEF	PROJ MGR SDM	APPROVED	SHEET NO. 1 OF 1	
CALC	CADD	FIELD CHECKED	CRD FILE 17607	JOB NO. 17607	
FILENAME: S:\PROJECTS\17600\17607\DWG\17607_EC.dwg					

#### Google Maps 123 W Fourth St

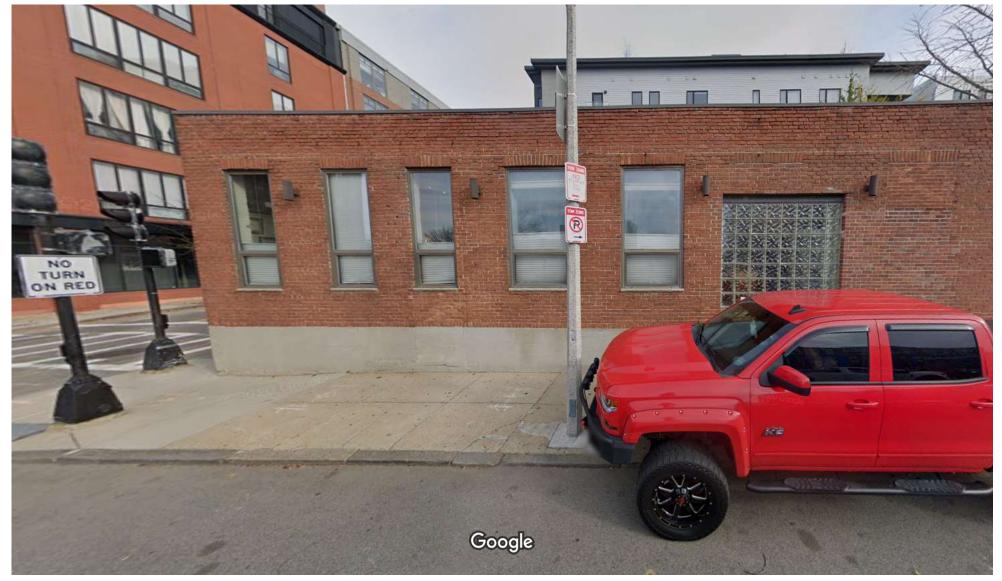


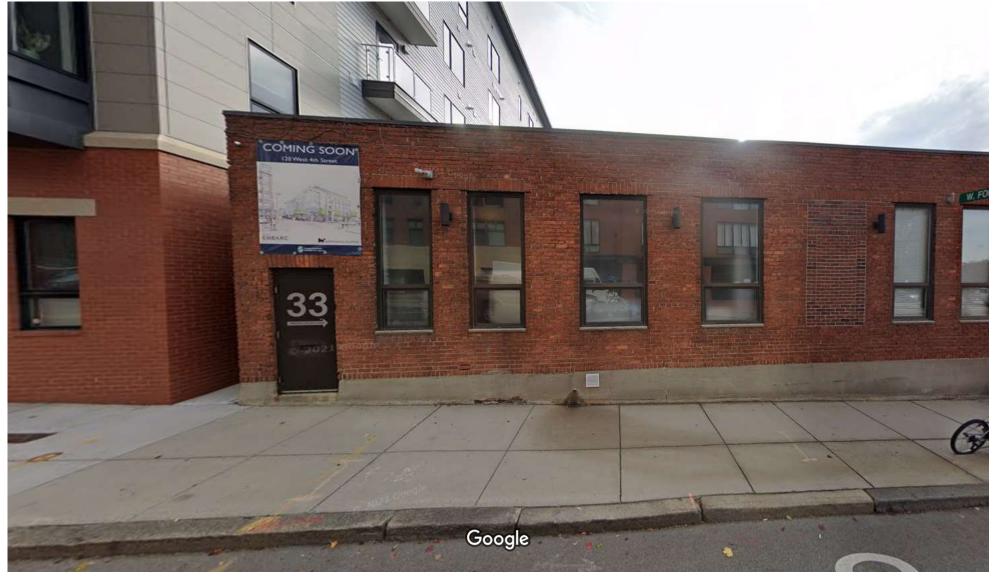
Image capture: Nov 2020 © 2022 Google

Boston, Massachusetts

Google

Street View - Nov 2020

#### Google Maps 36 A St



© 2022 Google Image capture: Nov 2020

Boston, Massachusetts

Google

Street View - Nov 2020

This form approved by Commissioner of Revenue

COMMONWEALTH OF MASSACHUSETTS CITY OF BOSTON

OFFICE OF THE COLLECTOR-TREASURER ONE CITY HALL SQUARE, BOSTON, MA 02201

COLLECTOR OF TAXES
JUSTIN STERRITT

33 A STREET DEVELOPMENT LLC A MASS LLC 33 A STREET SOUTH BOSTON MA 02127



#### FY 2022

#### CITY OF BOSTON REAL ESTATE TAX

Office of the Assessor 617-635-4287 Office of the Collector 617-635-4131 Office Hours: Monday - Friday 9:00 AM - 5:00 PM

PAYMENTS CAN BE MADE ONLINE AT: www.boston.gov/taxpayments credit/debit card payments are subject to fees

If you are using a payment service to pay this bill, you MUST indicate the **TAXYEAR** and **BILL NUMBER** on the check

#### MAKE CHECKS PAYABLE TO: THE CITY OF BOSTON

MAIL CHECKS TO: BOX 55808 BOSTON. MA 02205

Do not send cash

	Do not bene basin					
WARD PARCEL NO. BILL		LL NU	MBER	BA	ANK NO.	
06 00155-000 3773						
LOCATION AREA						AREA
120 W FOURTH ST						8336
RESIDENTIAL OPEN SPACE COMMERC		IAL	INDUSTRIAL			
Tax Rate 10.88		10.8	8	24.98		24.98
CLASS DESCRIPTION			Α	SSESSE	) OV	VNER
I I LAND BUILDING			33 A S	STREET DEVE MASS		MENT LLC A

IMPORTANT: SEE REVERSE SIDE FOR IMPORTANT INFORMATION

## TAXPAYER'S COPY 4TH QUARTER

TOTAL FULL VALUATION	688,000.00
RESIDENTIAL EXEMPTION	.00
TOTAL TAXABLE VALUATION	688,000.00
COMMUNITY PRESERVATION ACT	146.88
SPECIAL ASSESSMENT	.00
CODE VIOLATIONS	.00
TOTAL TAX & SPEC ASSMNT. DUE	17,333.12
PERSONAL EXEMPTIONS	.00
PAYMENTS TO DATE/CREDITS	12,721.93
NET TAX & SPEC. ASSMNT. DUE	4,611.19
PRELIMINARY OVERDUE	.00
1ST TAX PAYMENTS DUE BY 02/01/2022	4,611.20
2ND TAX PAYMENTS DUE BY 05/02/2022	4,611.19
TAX DUE	4,611.19
FEES	.00
INTEREST	.00
TOTAL DUE	
Pay by 05/02/2022	4,611.19

Please detach this portion and remit this slip with payment

#### COMMONWEALTH OF MASSACHUSETTS CITY OF BOSTON

This form approved by Commissioner of Revenue

WARD PARCEL NO.		BILL NUMBER	BANK NO.		
06	00155-000	3773			
LOCATION					
120 W FOURTH ST					

JUSTIN STERRITT

ASSESSED OWNER: 33 A STREET DEVELOPMENT
LLC A MASS LLC

**COLLECTOR OF TAXES** 

33 A STREET DEVELOPMENT LLC A MASS LLC 33 A STREET

SOUTH BOSTON MA 02127

MAKE CHECKS PAYABLE TO: THE CITY OF BOSTON

> MAIL CHECKS TO: BOX 55808 BOSTON, MA 02205

Do not send cash

COLLECTOR'S COPY 2022 REAL ESTATE TAX 4TH QUARTER

TAX DUE	4,611.19
FEES	.00
INTEREST	.00
TOTAL DUE	
Pay by 05/02/2022	4,611.19

**FISCAL YEAR 2022 TAX:** This tax bill shows the amount of real estate taxes you owe for fiscal year 2022 (July 1, 2021 - June 30, 2022). The tax shown in this bill is based on assessments as of January 1, 2021. This bill also shows betterments, special assessments and other charges.

PAYMENT DUE DATES: The City of Boston has adopted Mass. Gen. Law Ch. 59 § 57C which establishes a quarterly property tax bill system. The preliminary tax was payable in two installments. The first payment was due on August 1, 2021 and the second payment was due on November 1, 2021. Your preliminary tax payments are shown on this bill as a credit against FY 2022 tax, special assessments and other charges. If tax bills were mailed on or before December 31, 2021, the balance remaining after credit for preliminary tax payments is payable in two equal installments. Your first payment is due on February 1, 2022. Your second payment is due on May 2, 2022. However, if tax bills were mailed after December 31, 2021, the entire balance remaining is due on May 2, 2022, or 30 days after the bills were mailed, whichever is later.

<u>Payments are considered made when received by the Collector.</u> To obtain a receipted bill, enclose a self-addressed stamped envelope and both portions of the bill with your payment.

If you have a mortgage with a real estate escrow account, it is important that you forward this bill to the mortgagee in sufficient time so that the bill can be paid timely.

**INTEREST CHARGES:** If your payments are not made by their due dates, interest at the rate of 14% will be charged on the amount of the payment that is unpaid and overdue. If tax bills were mailed on or before December 31, 2021, interest will be computed on overdue first payments from February 1, 2022 and on overdue second payments from May 2, 2022 to the date payment is made. If tax bills were mailed after December 31,2021, interest will be computed on overdue remaining payments from May 2, 2022 or the payment due date, whichever is later, to the date payment is made. You will also be required to pay charges and fees incurred for collection if payments are not made when due.

ABATEMENT/EXEMPTION APPLICATIONS: You have a right to contest your assessment. To do so, you must file an application for an abatement in writing on an approved form with Assessing Department. You may apply for an abatement, if you believe your property is valued at more than its fair cash value, is not assessed fairly in comparison with other properties, or is not properly classified. The filing deadline for an abatement applications is February 1, 2022. You may be eligible for an exemption from or a deferral of all or some of your tax. In order to obtain an exemption for which you are qualified, you must file an application in writing on an approved form with the Assessing Department. The filing deadline for an exemption such as elderly, surviving spouse or minor, blind, veteran, hardship and surviving spouse or minor of a police officer or firefighter killed in the line of duty under Mass. G.L. Ch.59 § 5, Cls. 17D, 18, 22A, 22B, 22C, 22D, 22E, 37A, 41C, 42 or 43, or a deferral under Cl. 41A is 3 months after the date tax bills were mailed. The filing deadline for all other exemptions under CH. 59 § 5 is February 1, 2022. The filing deadline for a residential exemption under Ch. 59 § 5C, if not shown on your bill, is 3 months after the date tax bills were mailed.

Application forms are available at the Assessing Department, Room 301, City Hall, Boston, MA 02201, Monday-Friday 9:00 A.M. to 5:00 P.M. Applications are considered filed when received by the Assessing Department. If your application is not received by the applicable deadline, the assessors cannot, by law, grant an abatement or exemption.

FURTHER INFORMATION:

TRAC:
Taxpayer Referral & Assistance Center
Mezzanine, Boston City Hall
Boston, MA 02201
617-635-4287
www.cityofboston.gov/trac

# 33 A STREET

SOUTH BOSTON, MA

# 02/07/2022 ISSUED FOR CONSTRUCTION

ABOVE FINISHED FLOOR ACOUSTICAL CEILING TILE AMERICANS W/ DISABILITIES ACT APPROX. APPROXIMATE ARCH. ARCHITECTURAL AUDIO VISUAL BUILDING BLKG. BLOCKING B.O. BOTTOM OF CABINET C.H. **CEILING HEIGHT** CLEAR CENTERLINE COLUMN CONTINUOUS CONCRETE MASONRY UNIT CONTROL JOINT DETAIL DIA. DIAMETER DIMENSION DOWN DRAWING ELEVATION ELECTRICAL **EQUAL** FLOOR DRAIN FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH GROUND FAULT INTERCEPTOR CIRCUIT GSM. GALVANIZED SHEET METAL GYPSUM WALL BOARD HEATING, VENTILATING, AND AIR CONDITIONING H OR HVAC H.B. HOSE BIB HOLLOW METAL MAXIMUM MASONRY OPENING MECH. MECHANICAL

MECHANICAL ELECTRICAL PLUMBING

MINIMUM

METAL

NUMBER

**OPENING OPPOSITE** 

PAINT GRADE

PLYWOOD

PAINTED

OVER ON CENTER

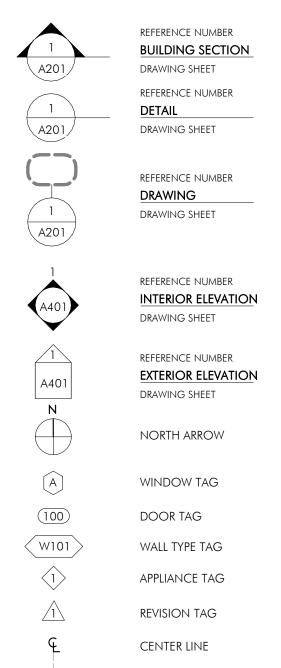
NOT TO SCALE

MISCELLANEOUS

NOT IN CONTRACT

OUTSIDE DIAMETER

ROOF DRAIN REQ'D. REQUIRED SCHED. SCHEDULE S.G. STAIN GRADE SIMILAR S.L.D. SEE LANDSCAPE DRAWINGS SPEC. SPECIFICATION S.S.D. SEE STRUCTURAL DRAWINGS SSTL. STAINLESS STEEL STEEL STOR. STORAGE STRUCT STRUCTURAL SYMMETRICAL TEMPERED TONGUE AND GROOVE TOP OF TUBULAR STEEL TYPICAL U.O.N UNLESS OTHERWISE NOTED VERIFY IN FIELD WITHOUT W/O WPM. WATERPROOFING MEMBRANE





## SHEET LIST

MISC.

N.I.C.

N.T.S.

O.D.

PLYWD.

PTD.

C-2 CIVIL SITE PLAN

**ARCHITECTURAL** 

A001-1 PROJECT INFO & CODE SUMMARY A001-2 PROJECT INFO & CODE SUMMARY A001-3 FIRE SEPARATION DISTANCE PLANS A001-4 HEIGHT & AREA PLANS A001-5 PARKING GARAGE - LIFE SAFETY & EGRESS PLAN A001-6 LEVEL 1 LIFE SAFETY & EGRESS PLAN A001-7 LEVEL 2 LIFE SAFETY & EGRESS PLAN A001-8 LEVEL 3 LIFE SAFETY & EGRESS PLAN A001-9 LEVEL 4 LIFE SAFETY & EGRESS PLAN A001-10 LEVEL 5 LIFE SAFETY & EGRESS PLAN A001-11 LEVEL 6 LIFE SAFETY & EGRESS PLAN A001-12 ROOF LIFE SAFTY & EGRESS PLAN A001-13 BASEMENT FIREPROOFING DIAGRAMS A001-14 LEVEL 1 FIREPROOFING DIAGRAM A001-15 LEVEL 2 FIREPROOFING DIAGRAM A001-16 LEVEL 3 FIREPROOFING DIAGRAM A001-17 LEVEL 4 FIREPROOFING DIAGRAM A001-18 LEVEL 5 FIREPROOFING DIAGRAM A001-19 LEVEL 6 FIREPROOFING DIAGRAM A001-20 ROOF FIREPROOFING DIAGRAM A001-21 TYPICAL FIREPROOFING DETAILS LEGENDS, ABBREVIATIONS & GENERAL NOTES WOOD FRAMED PARTITION TYPES METAL FRAMED PARTITION TYPES MASONRY PARTITION TYPES A006A EXTERIOR WALL ASSEMBLIES A006B EXTERIOR WALL ASSEMBLIES TYPICAL HORIZONTAL ASSEMBLIES TYPICAL HORIZONTAL ASSEMBLIES TYPICAL DETAILS BASEMENT FLOOR PLAN

FIRST FLOOR PLAN

THIRD FLOOR PLAN

FIFTH FLOOR PLAN

SIXTH FLOOR PLAN

A111 FIRST FLOOR REFLECTED CEILING PLAN A112 SECOND FLOOR REFLECTED CEILING PLAN A113 THIRD FLOOR REFLECTED CEILING PLAN A114 4TH FLOOR REFLECTED CEILING PLAN

A115 5TH FLOOR REFLECTED CEILING PLAN A116 6TH FLOOR REFLECTED CEILING PLAN

A107 ROOF PLANS A108 ROOF DECK PLAN

A105

A106

FOURTH FLOOR PLAN

SECOND FLOOR PLAN

A320 STAIR 1 PLANS STAIR 1 SECTIONS STAIR 2 PLANS STAIR 2 SECTIONS METAL STAIR DETAILS ELEVATOR PLANS AND SECTIONS ROOF DETAILS UNIT 1 ENLARGED PLAN & KITCHEN ELEVS UNIT 1 ENLARGED BATH ELEVATIONS UNIT 2&6 ENLARGED PLAN & KITCHEN ELEVS UNIT 2&6 ENLARGED BATH ELEVATIONS UNIT 3&7 ENLARGED PLAN & KITCHEN ELEVS UNIT 3&7 ENLARGED BATH ELEVATIONS UNIT 5 ENLARGED PLAN & KITCHEN ELEVS UNIT 5 ENLARGED BATH ELEVATIONS UNIT 4&8 ENLARGED PLAN & KITCHEN ELEVS UNIT 4&8 ENLARGED BATH ELEVATIONS PENTHOUSE ENLARGED PLAN PENTHOUSE KITCHEN - ENLARGED PLAN & ELEVS PENTHOUSE BATHS - ENLARGED PLANS & ELEVS STUDIOS 1 & 2 ENLARGED PLANS & ELEVS ROOF DECK GRILL - ENLARGED PLAN & ELEVS ENLARGED COMMON BATH DRAWINGS TYPICAL KITCHEN DETAILS TYPICAL BATH DETAILS DOOR SCHEDULE WINDOW TYPES WINDOW DETAILS WINDOW DETAILS A610 STOREFRONT & CURTAIN WALL ELEVATIONS Curtain Wall Elevations

Curtain Wall Elevations

GLASS PARTITIONS ELEVATIONS

STOREFRONT & CURTAIN WALL DETAILS

AMENITY & UNIT APPLIANCE SCHEDULE

A613

# EXTERIOR ELEVATIONS - A STREET

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS - WEST 4TH STREET EXTERIOR ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS WALL SECTIONS AT A STREET ENLARGED ELEVATION AND WALL SECTIONS ENLARGED ELEVATION AND WALL SECTIONS

## STRUCTURAL

S001 GENERAL NOTES I S002 GENERAL NOTES II S003 GENERAL NOTES III S004 LOADING PLANS \$100 FOUNDATION PLAN S101 LEVEL 1 FRAMING PLAN S102 LEVEL 2 FRAMING PLAN \$103 LEVEL 3 FRAMING PLAN S104 LEVEL 4 FRAMING PLAN \$105 LEVEL 5 FRAMING PLAN S106 LEVEL 6 FRAMING PLAN \$107 ROOF FRAMING PLAN S300 LATERAL FRAME ELEVATIONS S400 CONCRETE DETAILS I CONCRETE DETAILS II S402 CONCRETE DETAILS III S403 CONCRETE DETAILS IV S404 CONCRETE DETAILS V S500 STEEL DETAILS I S502 STEEL DETAILS III S503 STEEL DETAILS IV

S504 STEEL DETAILS V S600 WOOD DETAILS I S601 WOOD DETAILS II S602 WOOD DETAILS III S603 WOOD DETAILS IV S604 WOOD DETAILS V S606 WOOD DETAILS VII S700 CMU I

## PLUMBING

PO.1 "PLUMBING LEGEND, NOTES AND SCHEDULES " PO.2 PLUMBING DETAILS PO.3 PLUMBING RISER DIAGRAMS P1.0 PLUMBING BASEMENT FLOOR PLAN P1.1 PLUMBING FRIST FLOOR PLAN P1.3 PLUMBING THRID FLOOR PLAB P1.4 PLUMBING FOURTH FLOOR PLAN P1.5 PLUMBING FIFTH FLOOR PLAN P1.6 PLUMBING SIXTH FLOOR PLAN P1.7 PLUMBING ROOF PLAN

P2.0 "PLUMBING SPECIFICATION ""A"""

P2.1 "PLUMBING SPECIFICATION ""B"""

HO.1 HVAC LEGEND & NOTES AND ENERGY NARRATIVE

H0.2 HVAC SCHEDULES

H1.0 HVAC BASEMENT PLAN

H1.1 HVAC FIRST FLOOR PLAN

H1.2 HVAC SECOND FLOOR PALN

H1.3 HVAC THIRD FLOOR PLAN

H1.5 HVAC FIFTH FLOOR PLAN

H1.6 HVAC SIXTH FLOOR PLAN

H1.7 HVAC ROOF PLAN

H3.1 HVAC SPECIFICATION

E001 ELECTRICAL LEGEND

E100 ELECTRICAL BASEMENT PLAN

E101 ELECTRICAL FIRST FLOOR PLAN

E102 ELECTRICAL 2nd FLOOR PLAN

E103 ELECTRICAL 3rd FLOOR PLAN

E104 ELECTRICAL 4th FLOOR PLAN

E105 ELECTRICAL 5th FLOOR PLAN

E106 ELECTRICAL 6th FLOOR PLAN

E301 ELECTRICAL POWER RISER DIAGRAM

E303 ELECTRICAL LOW VOLTAGE RISER DIAGRAMS

E107 ELECTRICAL ROOF PLAN

E302 ELECTRICAL SCHEDULES

E304 ELECTRICAL DETAILS

H2.1 HVAC DETAILS

ELECTRICAL

H1.4 HVAC FOURTH FLOOR PLAN

## FIRE PROTECTION

FPO.1 "FIRE PROTECTIO LEGEND, NOTES AND SCHEDULES & DETAILS" FP1.0 FIRE PROTECTION BASEMENT PLAN FP1.1 FIRE PROTECTION FIRST FLOOR PLAN

FP1.2 FIRE PROTECTION SECOND FLOOR PLAN FP1.3 FIRE PROTECTION THIRD FLOOR PLAN FP1.4 FIRE PROTECTION FOURTH FLOOR PLAN FP1.5 FIRE PROTECTION FIFTH FLOOR PLAN FP1.6 FIRE PROTECTION SIXTH FLOOR PLAN FP1.7 FIRE PROTECTION ROOF PLAN

FP2.0 "FIRE PROTECTION SPECIFICATION ""A""" FP2.1 "FIRE PROTECTION SPECIFICATION ""B""" FP2.2 "FIRE PROTECTION SPECIFICATION ""C"""

## FIRE ALARM

FA001 FIRE ALARM LEGEND, MATRIX AND RISER DIAGRAM FA100 FIRE ALARM BASEMENT PLAN FA101 FIRE ALARM 1ST FLOOR PLAN FA102 FIRE ALARM 2ND FLOOR PLAN

FA103 FIRE ALARM 3RD FLOOR PLAN FA104 FIRE ALARM 4TH FLOOR PLAN FA105 FIRE ALARM 5TH FLOOR PLAN FA106 FIRE ALARM 6TH FLOOR PLAN

FA107 FIRE ALARM ROOF PLAN



ARCHITECT **EMBARC** BOSTON, MA 02127 O: 617.766.8330

OWNER MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 617-938-3349

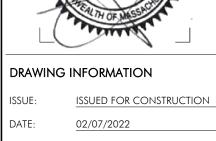
MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING ENVIENERGY STUDIO** 831 BEACON ST. #115 NEWTON CENTRE, MA 02459

TRU

REVISIONS MARK ISSUE DATE





PROJECT #: 20020 SCALE: As indicated DRAWING TITLE

DRAWING NUMBER

THE PROJECT WILL PROVIDE (34) OFF-STREET PARKING SPACES AND INCLUDE RETAIL SPACE AT THE CORNER OF A STREET AND W FOURTH STREET.

BUILDING WILL BE SPRINKLERED PER NFPA 13.



FIGURE 1: 33 A ST EXTERIOR RENDERING

2. APPLICABLE CODES							
	BUILDING	780 CMR: MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, BASE VOLUME (2015 INTERNATIONAL BUILDING CODE WITH AMENDMENTS)					
	FIRE	527 CMR 1.00: BOARD OF FIRE PREVENTION REGULATIONS (2015 NFPA 1 WITH AMENDMENTS)					
	ACCESSIBILITY	521 CMR: ARCHITECTURAL ACCESS BOARD REGULATIONS, 2006 EDITION FAIR HOUSING ACT (FHA) DESIGN MANUAL					
	ELECTRICAL	527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (2020 NFPA 70 WITH AMENDMENTS) 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS FOR LIGHTING					
	MECHANICAL	ASHRAE 90.1-2016, APPENDIX G, PLUS THE MASSACHUSETTS AMENDMENTS TO REPRESENT THE ENERGY CODE BASELINE CASE. 2015 INTERNATIONAL MECHANICAL CODE (IMC) AS AMENDED BY 780 CMR 28.00					
	PLUMBING	248 CMR 10.00: BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS REGULATIONS					
	ENERGY	ASHRAE 90.1-2016, APPENDIX G, PLUS THE MASSACHUSETTS AMENDMENTS TO REPRESENT THE ENERGY CODE BASELINE CASE.  MASSACHUSETTS STRETCH ENERGY CODE (2018 INTERNATIONAL ENERGY CONSERVATIO CODE WITH AMENDMENTS)					
	ELEVATOR	524 CMR: MASSACHUSETTS BOARD OF ELEVATOR REGULATIONS (2013 EDITION OF ANSI 17.1 – SAFETY CODE FOR ELEVATORS AND ESCALATORS, WITH AMENDMENTS)					
	OTHER	NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS, AS REFERENCED BY THE ABOVE CODES MASSACHUSETTS GENERAL LAW CHAPTER 148 SECTION 26G					

## 3. USE AND OCCUPANCY CLASSIFICATIONS

## 3.1 OCCUPANCIES

THE MIXED-USE BUILDING WILL CONTAIN THE FOLLOWING USE GROUPS

USE	OCCUPANCY CLASSIFICATION (780 CMR 301)			
COMMERCIAL <sup>a</sup> , BUSINESS, LOBBY <sup>a,</sup> MAILROOM <sup>a</sup>	GROUP B			
residential units	GROUP R-2			
PARKING, STORAGE, MEP GROUP S-2				

## 3.2 MIXED USE AND MULTIPLE OCCUPANCY APPROACH

The design of buildings containing multiple occupancy types is regulated by 780 CMR Section 508. Such buildings may utilize a specific approach as it relates to accessory, nonseparated, or separated mixed use; combinations of these approaches are also permitted.

## 3.2.1 NONSEPARATED

CMR §303.1.2.

The nonseparated mixed use approach requires each occupancy to be individually classified in accordance with 780 CMR Section 302.1. Code requirements are applied to each portion of the building based on the individual occupancy classification, except that the most restrictive provisions of Chapter 9 are applied throughout the contiguous non-separated occupancies (780 CMR Section 508.3.1). The allowable construction type, height, and area of the building (or portion thereof) are based upon the most restrictive allowances for the occupancies present (780 CMR Section 508.3.2).

## 3.2.2 SEPARATED

The separated mixed-use approach requires each occupancy to be individually classified in accordance with 780 CMR Section 302.1; code requirements are applied to each portion of the building based on occupancy classification (780 CMR Section 508.4.1). The allowable area per story shall be determined based on a sum of ratios of the present occupancies on a floor in accordance with 780 CMR Section 508.4.2. The allowable height for each occupancy shall be limited by the occupancy and type of construction in accordance with 780 CMR Table 503 (780 CMR Section 508.4.3). Occupancies shall be separated as required by 780 CMR Table 508.4.

## 3.2.3 DESIGN APPROACH

The building is designed using the non-separated mixed-use approach in accordance with 780 CMR Section

## 4. HEIGHT, AREA & CONSTRUCTION

The building is considered a low-rise with an average roof level located less than 70 feet above grade per 780 CMR Section 202.

#### 4.1 PODIUM PROVISIONS

The building will utilize the provisions for podium construction of 780 CMR §510.2. In podium construction, the stories above and below a horizontal separation are considered separate and distinct buildings for the purpose of determining the limitation of number of stories if all of the following conditions are met

1. The building is separated with a horizontal assembly having a minimum 3-hour fire-resistance rating.

2. The building below the horizontal assembly is of Type IA construction.

3. Shaft and stairway enclosures through the horizontal assembly have a minimum 2-hour fire-resistance rating. An exception permits enclosure walls extending above the horizontal assembly to be 1-hour fire-resistance rated construction where a 3-hour fire-resistance rating is provided for the enclosure below the horizontal assembly, the enclosure connects a maximum of three (3) stories, and the opening protectives above the horizontal assembly have a minimum 1-hour fire-resistance rating.

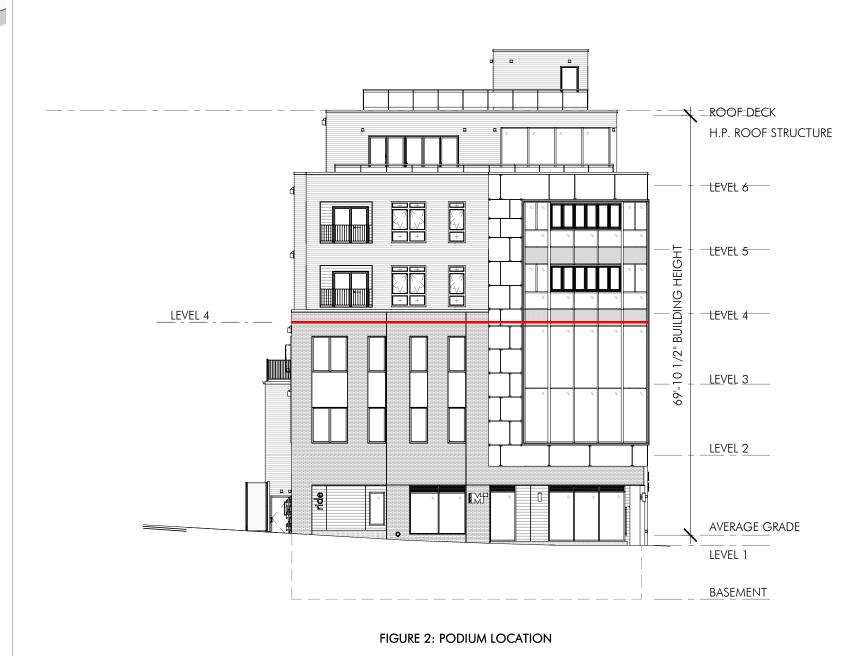
4. The building above the horizontal assembly is permitted to have multiple Group A occupancy uses, each with an occupant load of less than 300, or unlimited Group B, M, R, or S occupancies.

5. The building below the horizontal assembly is protected throughout by an automatic sprinkler system and does not consist of Use Group H occupancies.

6. The maximum building height in feet does not exceed the 780 CMR Table 504.3 limit of 85' for the most restrictive construction type (i.e. Type IIIA) and Use Group.

The proposed plans show compliance with the above requirements for podium construction.

The 3-hour horizontal separation is provided above Level 3 (i.e. at the Level 4 floor slab), separating the Type IA construction from the Type VA construction. The building is to be constructed of one (1) partial story below grade, three (3) stories above grade and below the horizontal separation and three (3) stories above the horizontal separation. (see Figure 2).



## 4.2 HEIGHT AND AREA

The building was analyzed with respect to the height and area requirements of 780 CMR Table 504.3, 504.4, 506.2 and 508.3. An automatic sprinkler system complying with NFPA 13 will be installed throughout the

## 4.2.1 BELOW PODIUM

The Type IA building below the podium is 3 stories above grade and 1 story below grade in height with a maximum floor area of 7,220 square feet. Type IA construction permits unlimited floor area and number of stories (780 CMR Tables 504.4 and 506.2).

## 4.2.2 ABOVE PODIUM

The structure above the 3-hour podium will be of Type VA construction. Type VA construction permits a maximum of 4 stories and a maximum footprint area of 36,000 square feet for Use Group R-2. The maximum area does not assume an increase for full frontage per 780 CMR 506.2 and 506.3.

Table 2 below provides an analysis of the height and area requirements for the structure above the podium. Note that number of stories is measured from the podium level.

## TABLE 2: HEIGHT / AREA ANALYSIS

TABLE 2: HEIGHT / AREA ANALTSIS						
HEIGHT / AREA ANALYSIS						
ELEMENT PROPOSED ALLOWED STATUS						
FLOOR AREA (SF)	7,020	36,000	COMPLIANT			
AGGREGATED AREA (SF)	18,070	108,000	COMPLIANT			
HEIGHT	68'-4 1/2"	70'	COMPLIANT			
STODIES	2	1	COMPLIANT			

## 5. PASSIVE FIRE PROTECTION ELEMENTS

The following sections outline the required fire-resistance ratings for various building elements.

## 5.1 CONSTRUCTION TYPE

The table below provides the required fire-resistance rating of elements if Type IA AND VA construction (780 CMR 601). Unless required to have a higher tire resistance rating by other sections of this report, the following minimum fire-resistance ratings are required.

## Table 3: Fire-Resistance Ratings

Tuble 6. The Resistance Runings		
Building Element	Type IA	Type VA
Primary structural frame (see 780 CMR §202 for definition)	3 Hours	1 Hour
Exterior bearing walls	3 Hours	1 Hour
Interior bearing walls	3 Hours	1 Hour
Interior nonbearing walls and partitions	0 Hour	0 Hour
Exterior nonbearing walls and partitions	See section 5.2	
Floor construction and secondary members (see 780 CMR §202 for definition)	2 Hours	1 Hour
Roof construction and secondary members (see 780 CMR §202 for definition)	1 1/2 Hours	1 Hour

#### 5.2 EXTERIOR WALLS

The exterior wall requirements are also based on the fire separation distance (FSD) of each wall. The FSD is measured at a right angle from the face of each exterior wall to the closest interior lot line, the centerline of a street, alley, or public way, or an imaginary lot line between two buildings on the same lot.

As summarized below, 780 CMR Table 602 shows the required fire-resistance rating for nonbearing exterior walls based on the FSD measured on the site plan. (See the associated life safety plans for a detailed FSD analysis and indication of which walls require a fire-resistance rating based on FSD.) The FSD is only applicable to nonbearing exterior walls per 780 CMR Tables 601 and 602; load-bearing exterior walls must be fireresistance rated as indicated by Table 2, regardless of the FSD.

Where the FSD of the exterior walls is greater than 10', exterior walls required to be rated must be rated for exposure from the inside. Where the FSD is 10' or less, rated exterior walls must be rated for exposure from both sides per 780 CMR Section 705.5.

#### Table 4: Fire Resistance Rating for Nonbearing Exterior Walls Based on Fire Separation Distance

Fire Separation Distance = X	TYPE IA	TYPE VA	Allowable Area ot Openings
[feet]	Use Group B/R-2/S-2 <sup>b</sup> [hours]	Use Group R-2 [hours]	Unprotected, Sprinklered [%]
X<3	1	1	Not Permitted
3≤X<5	1	1	15%
5≤X<10	1	1	25%
10≤X<15	1	1	45%
15≤X<20	1	1	75%
20≤X<30	1	1	No Limit
30≤X	Oa	Oa	No Limit

Note a: Based on the allowance for unlimited unprotected openings.

Note b: Exterior walls of open parking garages are not required to be fire-resistance rated.

The fire-resistance ratings of the non-load bearing exterior walls have been reviewed and determined to be in compliance with the requirements of 780 CMR Table 602. Additionally, the percentage openings in the building have been reviewed and comply with the allowable opening percentages of Table 705.8.

#### 5.2.1 EXTERIOR WALL PROJECTIONS

Projections which extend past exterior walls of Type VA construction are permitted to be of any approved material in accordance with 780 CMR Section 705.2.2.

Where unprotected openings in the exterior walls are limited by the FSD, projections cannot extend past a point ½ the distance from the exterior face of the wall to the lot line. Where unlimited unprotected openings are permitted projections cannot extend past a point  $\frac{1}{2}$  the distance from the exterior face of the wall to the lot line.

#### The exterior projections have been reviewed and determined to comply the requirements of 780 CMR.

#### 5.2.2 EXTERIOR WALLS OF EXIT ENCLOSURES

Where non-rated walls of an exit enclosure are exposed by other parts of the building at an angle of less than 180 degrees, the building's exterior walls within 10 feet horizontally of a non-rated wall must have a fire resistance rating of at least 1hour (780 CMR Section 1023.7).

#### 5.3 INTERIOR WALLS AND PARTITIONS

#### 5.3.1 FIRE AND SMOKE RESISTIVE ASSEMBLIES

The tables below identify the interior walls and partitions that are required to be composed of fire/smoke resistive assemblies. Note that supporting construction for a fire barrier is required to be protected such that the required fire-resistance rating of the fire barrier being supported is afforded per 780 CMR Section

TABLE 5: REQUIRED FIRE-RESISTANCE RATINGS						
BUILDING ELEMENT	REQUIRED RATING	CODE REFERENCE				
DWELLING UNIT SEPARATIONS	1-HR FIRE PARTITION	780 CMR §420.2, 708.3, & TABLE 716.5				
CORRIDOR WALLS (GROUP R-2)	1/2-HOUR FIRE PARTITION	780 CMR TABLE 1020.1 & TABLE 716.5				
CORRIDOR WALLS (ALL OTHER OCCUPANCIES)	no rating required	780 CMR TABLE 1020.1				
STAIR, ELEVATOR, MECHANICAL SHAFTS CONNECTING 4 OR MORE STORIES	2-HR FIRE BARRIER	780 CMR §713.4 & TABLE 716.5				

BUILDING ELEMENT	REQUIRED RATING	CODE REFERENCE		
FURNACE ROOMS WITH ANY EQUIPMENT OVER 400,000 BTU/HR	SMOKE RESISTANT CONSTRUCTION WITH SPRINKLER PROTECTION	780 CMR TABLE 509 & §509.4.2		
BOILER ROOMS WITH LARGEST PIECE OF EQUIPMENT OVER 15 PSI AND 10 HP	SMOKE RESISTANT CONSTRUCTION WITH SPRINKLER PROTECTION	780 CMR TABLE 509 & §509.4.2		
FIRE PUMP ROOM	2-HR FIRE BARRIER	780 CMR §913.2, NFPA 20 §4.12.1		
EMERGENCY ELECTRICAL ROOMS	2-HR FIRE BARRIER	527 CMR §700.10 & NEC 700.10(D)(2)		
EMERGENCY FEEDER CIRCUIT WIRING	2-HR FIRE PROTECTION	NEC 700.10(D)(1)		
ELEVATOR MACHINE ROOM/CONTROLS ROOM	2-HR FIRE BARRIER	780 CMR §3005.4		
TRANSFORMER VAULT (<112.5 KV)	NONCOMBUSTIBLE	527 CMR 12.00 (NFPA 70)		
TRANSFORMER VAULT (>112.5 KV)	1-HR FIRE BARRIER	527 CMR 12.00 (NFPA 70)		
TRANSFORMER VAULT (>35,000 VOLTS)	3-HR MASONRY	527 CMR 12.00 (NFPA 70)		
EVERSOURCE UTILITY TRANSFORMER VAULT	3-HR MASONRY	527 CMR 12.00 (NFPA 70)		

## 5.3.2 DOORS AND FIRE SHUTTERS

Doors and fire shutters as well as their components are required to have fireresistance ratings and meet the required test standards as specified in the table below. All fire doors and fire shutters are required to be designed, installed and labeled in accordance with NFPA 80 (780 Section CMR 716.4).

TABLE 7: FIRE DOOR AND FIRE SHUTTER REQUIREMENTS							
WALL TYPE	REQUIRED WALL RATING	REQUIRED MINIMUM DOOR RATING	REQUIRED PERFORMANCE CRITERIA	CODE REFERENCE			
FIRE BARRIERS	2 HOURS	1.5 HOURS	NFPA 252 OR UL 10C / NFPA 252 OR UL 10B	780 CMR §716.5			
OTHER FIRE BARRIERS	1 HOUR	3/4 HOUR	NFPA 252 OR UL 10C / NFPA 252 OR UL 10B	780 CMR §716.5			
FIRE PARTITIONS	1 HOUR	3/4 HOUR	NFPA 252 OR UL 10C / NFPA 252 OR UL 10B	780 CMR §716.5			
residential corridors	1/2 HOUR	1/3 HOUR <sup>A</sup>	NFPA 252 OR UL 10C / NFPA 252 OR UL 10B	780 CMR §716.5			
WALL CAPABLE OF RESISTING THE PASSAGE OF SMOKE	no rating	no rating	NO AIR TRANSFER OPENINGS <sup>B</sup> , MAX. <sup>3</sup> ¼" UNDERCUT	780 CMR §509.4.2			

NOTE A: DOORS MUST ALSO MEET THE REQUIREMENTS FOR SMOKE AND DRAFT CONTROL DOORS IN ACCORDANCE WITH UL 1784 NOTE B: UNLESS PROTECTED BY SMOKE DAMPERS.

All rated doors are required to be self- or automatic closing and provided with an active latch bolt that will secure the door when it is closed (780 CMR 716.5.9).

## 5.3.3 TRASH CHUTES

This project does not have trash chutes.

#### 5.4 FIRE BLOCKING AND DRAFTSTOPPING

Fire blocking is required to cut off concealed draft openings (both vertical and horizontal) in residential buildings and form an effective barrier between floors as well as between a top story and a roof or attic space Fire blocking is required to be installed per 780 CMR Section 718.2.2 through 718.2.7.

Draftstopping is not required in floors or concealed roof spaces protected throughout by an automatic sprink system (780 CMR Section 718.3.2, Ex. 1 and 780 CMR Section 718.4.2, Ex. 2).

The project elects to provide draftstopping, limiting areas of 2,000 or less, due to product & testing data available for the specified sprinkler heads.

#### 5.5 INTERIOR FINISHES

#### 5.5.1 WALL AND CEILING FINISHES

The table below provides the interior wall and ceiling requirements based on occupancy classifications. The finish requirements are maximum flame spread and smoke-developed indexes. Interior wall and ceiling finish ratings are classified in accordance with ASTM E 84 or UL 723 (780 CMR Section 803.1.1).

#### TABLE 8: INTERIOR WALL AND CEILING FINISH REQUIREMENTS

OCCUPANCY CLASSIFICATION	EXIT ENCLOSURES	CORRIDORS, EXIT ACCESS STAIRWAYS, RAMPS	ROOMS AND ENCLOSED SPACES
В	В	С	С
R-2, S-2	С	С	С

### 5.5.2 INTERIOR FLOOR FINISHES

In areas other than parking on the ground level, interior floor covering materials comply with the requirements of the DOC FF-1 "pill test" (CPSC 16 CFR Part 1630) (780 CMR Section 804.4.1). Interior floor covering materials in the garage have a minimum Class II critical radiant flux. Traditional finishes such as wood, vinyl, linoleum

or terrazzo, and resilient floor covering materials are permitted in all areas per 780 CMR Section 804.1.

## 6. ELEVATORS

#### 6.1 MEDICAL EMERGENCY ELEVATOR

New elevators are required to comply with 524 CMR 35.00. At least one elevator must be able to accommodate the loading and transportation of an ambulance gurney or stretcher (24" wide by 84" long with 5" radius corner) in its horizontal position per 524 CMR Section 2.27.12.

THIS PROJECT INCLUDES A STRETCHER-COMPLIANT ELEVATOR

## 7. FIRE PROTECTION / EMERGENCY SYSTEMS

#### 7.1 AUTOMATIC SPRINKLER SYSTEM

The building is required to have an automatic sprinkler system installed per Massachusetts General Law Chapter 148 Section 26G and 780 CMR Section 903.2. The automatic sprinkler systems must be installed in accordance with NFPA 13 per 780 CMR Section 903.3.

Sprinklers may be required to protect the canopy and balcony projections, unless one of the exceptions in NFPA 13 is met. Dry-type sidewall heads, if used for exterior projection protection, must be installed in accordance with appropriate barrel length and a seal at the exterior membrane of the exterior wall in accordance with NFPA 13 Section 8.4.2 and Table 8.4.9.1, respectively.

It should be noted that due to combustible construction above the ceiling, sprinklers are be required within the cavity between the ceiling and the bottom of the floor above.

An automatic sprinkler system complying with NFPA 13 will be installed throughout the building. The sprinklers at the car stackers will be designed as an Ordinary Hazard Group 2 occupancy with sprinklers located at the ceiling level and beneath the top row of cars to ensure that the car stacker system will not pose an obstruction to the sprinkler discharge.

## 7.2 SPRINKLER RISER AND WATER SUPPLY

The project must be provided with an adequate water supply to deliver the necessary pressure and flow of water to meet the hydraulic requirements of NFPA 13. If the water supply is not adequate a fire pump is required.

Access to the fire pump if required shall be directly from an exterior door at grade or through fireresistance rated enclosures that are rated equivalent to the fire pump room (1-hour rating) (NFPA 20 Section 4.13.2).

## 7.3 STANDPIPE SYSTEM

The building will contain a standpipe system since the highest story is located more than 30' above the lowest level of fire department access. Class I standpipes are permitted since the building will be fully sprinklered. Class I standpipe hose connections must be located in accordance with 780 CMR Section

## Class I standpipe connections will be provided in both exit stairs.

## 7.4 FIRE DEPARTMENT CONNECTION

A fire department connection must be provided for the building's automatic sprinkler and standpipe systems in a location approved by the fire department. The fire department connection must be located a minimum of 18 inches above and a maximum of 42 above the ground level to the centerline of the inlet (780 CMR

912 and NFPA 14 Section 6.4.6). A clear working space of 36 inches in width, by 36 inches in depth, by 78 inches in height is required in front of the fire department connection (780 CMR Section 912.4.2).

The fire department connection is proposed to be located above the fire sprinkler room, adjacent to the main building entry. This location has been reviewed with the Boston Fire Department.

# **BOSTON, MA 02118**

O: 617.765.8000 www.embarcdesign.com

33 A ST, BOSTON, MA 02127

MICHAEL INDRESANO

**CONSULTANTS** 

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

BOSTON, MA 02210

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING ENVIENERGY STUDIO** 

831 BEACON ST. #115

NEWTON CENTRE, MA 02459

ISTRUC<sup>-</sup>

Ш  $\simeq$ S  $\triangleleft$ S

REVISIONS

DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020 DRAWING TITLE

PROJECT INFO 8

CODE SUMMARY

DRAWING NUMBER

#### 7.5 FIRE ALARM SYSTEM

A manual fire alarm system is not required for the building per 780 CMR Sections 907.2.9.1, 907.2.1, and 907.2.7 since the building will be fully protected with an automatic sprinkler system in which the occupant notification system will be activated in accordance with 780 CMR Section 907.5 by the sprinkler waterflow switches. Per 780 CMR Section 907.2, a minimum of a single manual fire alarm box must be provided in an approved location to initiate a fire alarm signal for fire alarm systems employing automatic fire detectors or waterflow detection devices. Where other sections of the code allow elimination of fire alarm boxes due to sprinklers, 780 CMR Section 907.2 requires that a single fire alarm box be installed unless the omission is approved by the fire code official. If the omission of the manual fire alarm box is not approved, where provided, the manual fire alarm box cannot be located in an area that is accessible to the public.

Further, per 780 CMR Section 907.2 Exception 2, the manual fire alarm box is not required for Group R-2 occupancies unless required by the fire code official to provide a means for fire watch personnel to initiate an alarm during a sprinkler system impairment event.

#### With this considered, it is our opinion that a fire alarm box is not required in the building unless specifically mandated by the fire code official.

#### 7.5.1 SINGLE & MULTIPLE STATION SMOKE ALARMS

Single- or multiple-station smoke alarms must be installed in the following locations: 1. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of

- 2. In each room used for sleeping purposes. 3. In each story within a dwelling unit.
- 4. Not less than 3' horizontally from the door opening adjacent to bathrooms containing a bathtub or shower.

5. Where not in conflict with Items (1) and (2), ionization smoke alarms must not be installed within 20 feet from a permanently-installed cooking appliance unless provided with an alarm-silencing switch and photoelectric smoke alarms must not be installed within 6' from a permanently-installed cooking appliance.

Where more than one smoke alarm is required to be installed within an individual dwelling unit, the smoke alarms must be interconnected in such a manner than the activation of one alarm will activate all of the alarms in the individual unit per 780 CMR Section 907.2.11.5. Smoke detectors listed in accordance with UL 268 – Smoke Detectors for Fire Alarm Systems can be provided as an alternative to the single- and multiple-station smoke alarms if they comply with the requirements of 780 CMR Section 907.2.11.7.

#### 7.5.2 CARBON MONOXIDE DEVICES

Carbon monoxide detection will be provided as is required in accordance with 780 CMR Sections 915.1 through 915.5, and 527 CMR Sections 13.7.2.11.4 and 13.7.6.

#### 7.6 EMERGENCY RESPONDER RADIO COVERAGE

Emergency responder radio coverage will be provided as is required in all new buildings per 780 CMR Section 916.1 unless it is determined by the fire code official that a radio coverage system is not needed.

If a bi-directional amplifier is required, all repeated/head end equipment and vertical risers must be located in 2-hour fire-resistance rated enclosures (NFPA 72 Section 24.3.13.8.3).

#### 7.7 PORTABLE FIRE EXTINGUISHERS

Portable fire extinguishers are required and will be provided in all occupancies per 780 CMR Section 906.1, and must be selected and installed in accordance with NFPA 10. Extinguishers are required in Use Groups B, R-2, and S-2. For the Use Group R-2 areas, per 780 CMR Section 906.1, an option exists to provide extinguishers in each dwelling unit rather than within travel distance requirements of 780 CMR Section 906.3; however, extinguishers must still be provided in locations listed in 780 CMR Section 906.1 Exception Items 2-6.

### 7.8 STANDBY/EMERGENCY POWER SYSTEMS

Standby and emergency power systems are required to be installed in accordance with 780 CMR Section 2702. Standby and emergency power can be provided for systems which require standby or emergency power by various sources including those complying with NFPA 110 – Standard for Emergency and Standby Power Systems and NFPA 111 – Standard on Stored Electrical Energy Emergency and Standby Power Systems per 780 CMR Section 2702.1. Emergency and standby power systems must provide the required power for a minimum duration of two (2) hours without being refueled per 780 CMR Section 2702.1.4.

Per 780 CMR Section 2702.1.3, emergency and standby power systems must transfer within 10 and 60 seconds after primary power loss, respectively. The emergency and standby power systems must support the power load for a duration of two (2) hours per 780 CMR Section 2702.1.4. The following applies:

Standby power loads per 780 CMR Section 2702:

 Elevators Emergency responder radio coverage

Emergency power loads per 780 CMR Section 1008.3 and Section 2702: Means of egress illumination Exit signs

## 8. MEANS OF EGRESS

## 8.1 OCCUPANT LOADS

The occupant load of a space is determined by the function of the space and the floor area. The floor area is either measured as a gross (includes all areas within the exterior walls) or a net (actual occupied area of the space) area. Applicable occupant load factors per 780 CMR Table 1004.1.2 are provided in Table 8 below.

Note that posted occupant loads may be specified for the amenity spaces in accordance with 780 CMR Section 1004.3. Posted occupant loads recognize the concept of non-simultaneous use and require approval from the building official. In essence, the occupants utilizing the space are generally accounted for in the egress analysis by the loading of the residential units.

TABLE 9: OCCUPANT LOAD FACTORS					
FUNCTION OF SPACE	OLF [SF / OCCUPANT]				
ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	15 NET				
BUSINESS	100 GROSS				
residential	200 GROSS				
PARKING	200 GROSS				
STORAGE / MECHANICAL	300 GROSS				
	FUNCTION OF SPACE  ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)  BUSINESS  RESIDENTIAL  PARKING				

## 8.2 EGRESS CAPACITIES

The capacity of egress components is calculated based on the width of the egress component. The egress capacity factors are as follows in Table 10:

TABLE 10: EGRESS CAPACITY FACTORS

EXIT COMPONENT	[IN / OCCUPANT]
STAIRS	0.2
OTHER EGRESS COMPONENTS	0.15

The egress capacities have been reviewed and it has been determined that the exits on each floor level provide sufficient egress capacities for the intended occupant load.

## 8. MEANS OF EGRESS CONT.

#### 8.3 EGRESS ARRANGEMENT

Travel distance and common path of egress travel requirements are outlined in the table below:

TABLE 11: EGRESS REQUIREMENTS						
REQUIREMENT	VALUE [FEET]	780 CMR				
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	400 (USE GROUP S-2) 300 (USE GROUP B) 250 (USE GROUP M, R-2)	TABLE 1017.				
MAXIMUM COMMON PATH OF EGRESS TRAVEL	100 (USE GROUP B, S-2) 125 (USE GROUP M, R-2)	§1006.2.1				
DEAD END CORRIDORS	50	§1020.4				

Two exits are required from Group B occupancies where the occupant load exceeds 49 persons. Two exits are required from Group S occupancies where the occupant load exceeds 29 persons (780 CMR Table 1006.2.1).

A single means of egress is permitted within and from dwelling units where the maximum unit occupant load is 20 people and the common path of travel is a maximum of 125' per 780 CMR Section 1006.2.1 Exception 1.

Where more than one means of egress is required, the exits are separated by ½ of the overall diagonal distance of the space served per 780 CMR Section 1015.2.1. Egress is permitted through an enclosed elevator lobby; however, access to one of the required exits must be provided without requiring travel through the elevator lobby in accordance with 780 CMR Section 1016.2(1).

The egress arrangement has been reviewed and determined to be in compliance with the requirements of 780 CMR Chapter 10.

#### 8.4 EGRESS COMPONENTS

#### 8.4.1 DOORS

The minimum door clear width requirements per 780 CMR Section 1010.1.1 are as

• No minimum width for doors to storage closets less than 10 ft2 in area per 780 CMR Section 1010.1.1, Exception 3, and • 32" for all other doors.

Door openings in dwelling units must not be less than 78" in height. Exterior doors opening in dwelling units must not be less than 76" in height. Other door openings must not be less than 80" in height per 780 CMR Section 1010.1.1.

Doors are not permitted to encroach on the required corridor width when in the fully open position by more than 7" and doors in any position are not permitted to reduce the required corridor width by more than ½ per 780 CMR Section 1005.7. These requirements do not apply to doors within the individual Group R-2 units per 780 CMR Section 1005.7.1, Exception 2.

All doors serving an occupant load of 50 or more people must swing in the direction of egress travel per 780 CMR Section 1010.1.2.1. The use of panic hardware is required for all doors serving the amenity space.

#### 8.4.2 CORRIDORS

The minimum corridor width requirements per 780 CMR Section 1020.2 are as follows:

- 36" permitted when serving less than 50 occupants or within a dwelling unit per 780 CMR Table 1020.2,
- 24" permitted for access to and utilization of MEP equipment per 780 CMR Table 1020.2, and • 44" in general for all other corridors per 780 CMR Table 1020.2.
- Fire-resistance rated corridors are required to be continuous from the point of entry

to an exit and shall not be interrupted by intervening rooms (780 CMR Section

## 8.4.3 STAIRS

1020.6).

Requirements for stairs are summarized in the below table:

	TABLE 12: STAIR REQUIREMENTS		
FEATURE	REQUIREMENT	780 CMR	
HEADROOM	CLEARANCE OF 80"	§1011.3	
Treads and risers	COMMON AREAS: MAXIMUM RISER HEIGHT: 7", MINIMUM TREAD DEPTH: 11". WITHIN DWELLING UNITS: MAXIMUM RISER HEIGHT: 7¾", MINIMUM TREAD DEPTH: 10".	§1011.5.2 AND §1011.5.2 EXCEPTION 3	
LANDINGS	WIDTH: EQUAL TO THE WIDTH OF THE STAIR (E.G. 44" FOR COMMON STAIRS AND 36" WITHIN DWELLING UNITS).  ENCROACHMENT: DOORS OPENING ONTO LANDINGS CANNOT REDUCE THE LANDING TO LESS THAN ½ THE REQUIRED WIDTH. WHEN FULLY OPEN, DOORS CANNOT PROJECT MORE THAN 7" INTO THE LANDING.	§1011.6	
HANDRAILS	LOCATION: BOTH SIDES FOR COMMON STAIRS AND ONE SIDE WITHIN DWELLING UNITS.  HEIGHT: 34" MINIMUM AND 38" MAXIMUM FOR COMMON STAIRS (CAN BE EXCEEDED FOR FITTINGS WITHIN DWELLING UNITS), 30" MINIMUM AND 34" MAXIMUM FOR ALTERNATING TREAD DEVICES.  EXTENSION: 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE RISER BEYOND THE BOTTOM RISER. NO EXTENSIONS REQUIRED WITHIN DWELLING UNITS. CLEARANCE: MINIMUM 1½".	§1011.11, §1014.2, §1014.6, §1014.7, AND 521 CMR §27	
ROOF ACCESS (RESIDENTIAL BUILDING)	PERMITTED TO BE AN ALTERNATING TREAD DEVICE WHERE THERE IS NO ELEVATOR MACHINE ROOM ON THE ROOF.	§1011.12 AND EXCEPTION TO SAME	

## 8.4.4 GUARDS

Guards are required along open-sided walking surfaces that are located more than 30 inches above the adjacent surface below (780 CMR Section 1015.2). The guards must be not less than 42" in height per 780 CMR Section 1015.3 and not allow the passage of a sphere 4" in diameter per 780 CMR Section 1015.4.

## 8.5 EXIT DISCHARGE

The exit discharge is the portion of the means of egress from the termination of the exit to a public way. A sidewalk will be provided to a public way or safe dispersal area in accordance with 780 CMR Section 1028.5.

Exits must discharge directly to the exterior of the building with a maximum of 50% of required exits permitted to discharge in the interior of the building if certain conditions are met per 780 CMR Section 1028.1 Exception 1. Discharge of interior exit stairways are required to be provided with a free and unobstructed oath of travel to an exterior exit door and such exit is readily visible and identifiable form the point of termination of the enclosure.

Per 780 CMR §1008.1, the means of egress, including the exit discharge, must be illuminated at all times such that occupants can find the public way if an emergency occurs at night. Therefore, egress lighting must be provided at the exterior exit stairs and any pathway connecting to the public way.

Stair 1 discharges to the exterior and stair 2 discharge to the interior of the building into the lobby. There is a clear path from the termination of the enclosure to the exterior door. Therefore meeting the requirements of 780 CMR Section 1028.

## 8. MEANS OF EGRESS CONT.

#### 8.6 ACCESSIBLE MEANS OF EGRESS

Since the building contains five (5) stories above the level of exit discharge, an elevator provided with standby power is required, unless a horizontal exit is provided on each floor level (780 CMR Section 1009.2.1).

The building is not provided with a horizontal exit on level 2-6. Accordingly, the elevator is required to serve as an accessible means of egress and be provided with standby power.

Areas of refuge within the stairways are not required since the building will be provided with an automatic sprinkler system per 780 CMR Section 1009.3.

Where a single means of egress is permitted from a space, at least a single accessible means of egress must be provided per 780 CMR Section 1009.1. Where two or more means of egress are required from a story or space, at least two accessible means of egress must be provided. A stairway is permitted to serve as the second accessible means of egress per 780 CMR Section 1009.2. Since the building will be fully sprinklered, the stairs are not required to have a clear width of 48" between handrails.

A two-way communication system must be provided at elevator landings on each accessible floor above the level of exit discharge. This system is required regardless of whether an accessible egress elevator is provided 780 CMR Section 1009.8.

#### 8.7 ROOF ACCESS

Buildings four or more stories above grade plane require one stairway to extend to the roof surface, unless the roof has a slope steeper than 33% (780 CMR Section 1011.12).

Stair 2 extended to the roof therefore meeting requirements of 780 CMR Section 1011.12

#### 8.8 EXTERIOR DOORS & LOCKS

The main common entryway to the building must be equipped such that it closes and locks automatically. It must include a lock with an electrically-operated striker mechanism, a self-closing door and associated equipment. Such equipment must include an intercom system tied independently to each apartment and where the electrically operated striker mechanism can be released from each apartment.

Additionally, a closed-circuit security camera system must be incorporated such that the occupants of each apartment unit can utilize their personal television sets to observe who is seeking entrance to the building. The intercom and closed-circuit security camera systems must be designed and listed for the weather and temperature conditions to which they will be exposed per 780 CMR Section 1010.1.9.12.

The required intercom and TV connections can be supplanted with other audio and visual technology that serves the same purpose, provided such information is readily available for all dwelling units per 780 CMR Section 1010.1.9.12 Exception 2.

#### 8.9 ELECTRICAL ROOMS

Electrical rooms with equipment rated 1,200A or more and over 6' wide that contain overcurrent devices, switching devices, or control devices with exit or exit access doors must be equipped with panic hardware and the doors must swing in the direction of egress per 780 CMR Section 1010.1.10.

#### The project does not contain electrical equipment rated for 1,200A.

For electrical rooms containing equipment on circuits of 1000V nominal or less, personnel doors intended for entrance to and egress from work spaces in rooms containing equipment rated 800A or more, that contain overcurrent devices, switching devices, or control devices, must open in the direction of egress and be equipped with listed panic hardware if the door is located less than 25' from the nearest edge of the work space per NFPA 70 Section 110.26(C)(3).

For electrical rooms containing equipment on circuits greater than 1000V nominal, personnel doors providing entrance to and egress from work spaces serving all electrical equipment (regardless of amperage) that are located less than 25' from the nearest edge of the working space must open in the direction of egress and be equipped with listed panic hardware per NFPA 70 Section 110.33(A)(3).

### 9. ADDITIONAL CONSIDERATIONS

#### 9.1 PARKING GARAGE

### 9.1.1 ENCLOSED GARAGE

An enclosed parking garage is planned for the project. The parking garage will be protected by an automatic sprinkler system per 780 CMR Table 903.2. Enclosed parking garages are permitted to be of any construction type, provided the building meets the height and area requirements of 780 CMR Chapter 5 (780 CMR Section 406.6.1).

Enclosed parking garages must be provided with a mechanical ventilation system per 780 CMR Section 406.6 and designed in accordance with the International Mechanical Code (IMC). The following requirements apply for mechanical ventilation within an enclosed parking garage:

• The ventilation is permitted to operate intermittently when it is automatically activated by means of carbon monoxide detectors in conjunction with nitrogen dioxide detectors per IMC Section 404.1. • Automatic operation must not reduce the airflow rate below 0.05 cfm/ft<sup>2</sup> of floor area and the system must be capable of producing an airflow rate of 0.75 cfm/ft<sup>2</sup> of floor area per IMC Section 404.2 • Connecting offices and similar normally occupied areas accessory to the garage must be maintained at a positive pressure and should be provided with ventilation complying with IMC Section 403.3.1 per IMC Section

## The following general requirements apply to enclosed parking garages:

• Minimum clear height of 7' per 780 CMR Section 406.4.1 unless along an access aisle of parking space serving van-accessible parking. Vanaccessible parking spaces and routes serving same must provide a minimum vertical clearance of 8.2' per 521 CMR Section 23.4.7.a.

• Guards are required to protect all vertical openings located greater than 30" above the floor surface below per 780 CMR Sections 406.4.2 and 1015.

• Minimum 2'9" high vehicle barriers at the end of drive lanes and parking spaces located 1' or greater above the floor surface below per 780 CMR Section 406.4.3. • Vertical openings (i.e. automobile ramps, elevators, duct systems) do not require shaft encasement when

serving only the parking garage per 780 CMR Sections 406.5.7, 406.5.9, and 712.1.10. • Vehicle ramps are not permitted to be considered an exit element unless pedestrian facilities are provided. Vehicle circulation and parking ramps must not exceed a slope of 1:15 per 780 CMR Section 406.4.4. When vehicle circulation ramps are used as exit access, they are not required to comply with the ramp requirements of 780 CMR Sections 1012.3 through 1012.10 when not an accessible route serving accessible parking spaces, other required accessible element, or part of an accessible means of egress per 780 CMR Section 1012.1

## 9.1.2 PARKING GARAGE CAR STACKERS

The parking garage will be provided with two 2-level semi-automated car stacker systems. The car stacker system will be provided with sprinkler protection above the stackers as well as additional sprinkler beneath the upper level in order to provide unobstructed sprinkler protection to both levels of the car stacker system. Accordingly, the sprinkler system for the car stackers will be designed as an Ordinary Hazard Group 2 occupancy in accordance with NFPA 13.

Access to the lower level pit of the car stacker systems is provided for maintenance and emergency access. Access is provided via 36-inch stairs to each pit.

## 9.2 INTERIOR ENVIRONMENT

Exception 3.

Minimum ceiling height requirements per 780 CMR Section 1208.2 are as follows:

• 7' permitted for bathrooms, toilet rooms, kitchens, and storage rooms

Every dwelling unit must have at least one room with a minimum net floor area of 120 ft<sup>2</sup>. Other habitable rooms must have a net floor area of at least 70 ft<sup>2</sup> per 780 CMR Section 1208.3.

The building must be provided with natural or mechanical ventilation per 780 CMR Section 1203.1. Every space intended for human occupancy must be provided with natural or artificial lighting in accordance with 780 CMR Section 1205.1.

## 9. ADDITIONAL CONSIDERATIONS CONT.

#### 9.2 INTERIOR ENVIRONMENT CONT.

#### 9.2.1 SOUND TRANSMISSION

Per 780 CMR Section 1207.2, walls and horizontal assemblies between dwelling units or between dwelling units and public or service areas must have a sound transmission class (STC) of not less than 50, or not less than 45 if field-tested, for airborne noise when tested in accordance with ASTM E90 – Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions and Elements.

Per 780 CMR Section 1207.3, horizontal assemblies between dwelling units or between dwelling units and public or service areas must have an impact insulation class rating of not less than 50, or not less than 45 if field-tested, when tested in accordance with ASTM E492 – Standard Test Method for Laboratory Measurement of Impact Sound Transmission Through Floor-Ceiling Assemblies Using the Tapping Machine.

#### 9.2.2 VENTILATION

Per 780 CMR Section 1203.1, unless the dwelling units in the building have air infiltration rates of 5 air changes per hour or greater when tested with a blower door at a pressure of 0.2" water column in accordance with 2018 IECC Section R402.4.1.2, ventilation by mechanical means in accordance with 2015 International Mechanical Code (IMC) Section 403 must be provided.

Since the building is considered Use Group R-2 and is greater than three (3) stories, an outdoor air ventilation system must be installed in each occupiable space per IMC Section 403.3.1.1. In this case, an occupiable space is defined as any space intended for human activities, excluding those spaces intended primarily for other purposes, such as storage rooms and equipment rooms, that are only intended to be occupied occasionally and for short periods of time.

#### 9.2.3 NATURAL LIGHT

Habitable rooms, other than kitchens, must be provided with natural light from windows that occupy an area not less than 8% of the floor area of the room per 105 CMR Section 410.250.

#### 9.3 ACCESSIBILITY

The following accessibility requirements apply to the project. The project must meet the requirements of 521 CMR and the Fair Housing Act Design Manual (FHA) and the Americans with Disabilities Act (ADA) (public spaces only).

#### 9.3.1 DWELLING UNITS

At least 2% of the dwelling units must provide sleeping accommodations for persons who are deaf or hard of hearing in accordance with 521 CMR 9.7. All other units must be designed as Group 1 units per 521 CMR Section 9.3 since these are for sale units. Public and common use areas must comply with 521 CMR 10.00.

An accessible route must be provided to connect all rooms and spaces within dwelling units (521 CMR Section 9.5.4).

The building contains for-sale units. Accordingly, all units are designed as Group 1 units. Additionally, 1 hearing impaired unit is provided.

#### 9.3.2 ACCESSIBLE PARKING

Accessible parking must be provided in accordance with 521 CMR Section 23.2.1.

The project has 32 garage parking spaces; therefore, it is provided with two (2) accessible parking spaces with one of those spaces being van accessible.

#### 9.4 ENERGY

For the purposes of the 2018 International Energy Conservation Code (IECC) Section C202, a residential building is a Use Group R-2 building that is three stories or less in height above grade plane. Since the building exceeds three stories above grade plane, it is considered a commercial building under the IECC.

The new commercial building will comply with 780 CMR Chapter 13 and Appendix AA (i.e. 2018 IECC with MA amendments and Stretch Energy Code).

Each dwelling unit must comply with 780 CMR 51.00 Section N1106 (R406) per 780 CMR AA103.1. 780 CMR 51.00 R406.1 permits the following options for compliance for an Energy Rating Index (ERI) analysis:

1. Baseline energy model following the requirements of ASHRAE 90.1-2016, Appendix G, plus the Massachusetts Amendments to represent the Energy Code baseline case. PREFERRED COMPLIANCE PATH.

2. Energy Star Homes 3.1 Path 3. Passive House Institute US (PHIUS)

4. Approved software by BBRS. The BBRS as indicated that the following is acceptable for ERI a. A HERS compliance report with HERS index score meeting 780 CMR 51.00 Table R406.4 b. An ERI compliance report with ERI score meeting 780 CMR 51.00 Table R406.4

## c. Use of ANSI/RESNET/ICC 301 – 2014 or 2019.

Access roads must be capable of supporting all imposed loads of the fire department apparatus and must be provided with an all-weather driving surface per 527 CMR Section 18.2.2.1.1 and 18.2.2.1.1.1. Fire department apparatus access road plans are required to be submitted to the fire department along with the permit set. The plans must be signed and stamped by the responsible registered design professional and include an analysis and evaluation of fire department apparatus maneuvers throughout the access roads created by a swept path analysis and turn simulation software per 527 CMR Section 18.1.3.

Fire department access roads must not have a width less than 20' and a height not less than 13½' per 527 CMR Section 18.2.3.4.1.1 and 18.2.3.4.1.2. Dead end fire department access roads must be provided with an approved turn around area if in excess of 150' per 527 CMR Section 18.2.3.4.4.

## 9.6 STRUCTURAL CLASSIFICATION

9.5 FIRE DEPARTMENT ACCESS

The building is classified as an Occupancy Risk Category II in accordance with 780 CMR Table 1604.5.

## 9.7 NATURAL GAS FIREPLACES

Natural gas appliances will comply with the requirements of NFPA 54 (527 CMR Section

Natural gas fireplaces will be provided in the dwelling units designed in compliance

## 10.3 ROOF CONSTRUCTION

with NFPA 54.

Class B roof assemblies tested in accordance with ASTM E108 or UL 790 are required for Construction Type IA & VA per 780 CMR Table 1505.1.

| ARCHITECT **EMBARC** 60 K STREET, 3RD FLOOR

BOSTON, MA 02127

MICHAEL INDRESANO

O: 617.766.8330 www.embarcstudio.com OWNER

33 A ST, BOSTON, MA 02127

**CONSULTANTS** 

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125 **STRUCTURAL** 

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

617-969-7700 **ENERGY MODELING ENVIENERGY STUDIO** 

831 BEACON ST. #115

NEWTON CENTRE, MA 02459

ONSTRUC

 $\Delta$ Ш Ш S

S REVISIONS

DRAWING INFORMATION

DATE: 02/07/2022 PROJECT #: 20020 SCALE: 12'' = 1'-0''DRAWING TITLE

ISSUE: ISSUED FOR CONSTRUCTION

**CODE SUMMARY** DRAWING NUMBER

PROJECT INFO &

LEGEND PROPERTY LINE CENTER OF PUBLIC WAY ----- 1-HOUR RATED EXTERIOR WALL GENERAL NOTES 601 AND 602.

1. THE EXTERIOR WALL REQUIREMENTS BASED ON FIRE SEPARATION DISTANCE ARE ONLY APPLICABLE TO NONBEARING EXTERIOR WALLS PER 780 CMR TABLES 2. THE REQUIRED FIRE RESISTIVE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE LESS THAN OR EQUAL TO 10'-0" FROM PROPERTY LINE SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES, PER 705.5 REFER TO A001-1 TABLE 4 FIRE RESISTANCE RATING FOR NONBEARING

| ARCHITECT

60 K STREET, 3RD FLOOR BOSTON, MA 02127 O: 617.766.8330

www.embarcstudio.com

michael indresano

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

100 SUMMER ST, SUITE 1600 BOSTON, MA

CONSULTANTS

14 UPHAM AVE. DORCHESTER, MA 02125

617-506-1474

STRUCTURAL

REVISIONS

DRAWING INFORMATION

FIRE SEPARATION
DISTANCE PLANS

A001-3

H+O STRUCTURAL ENGINEERING

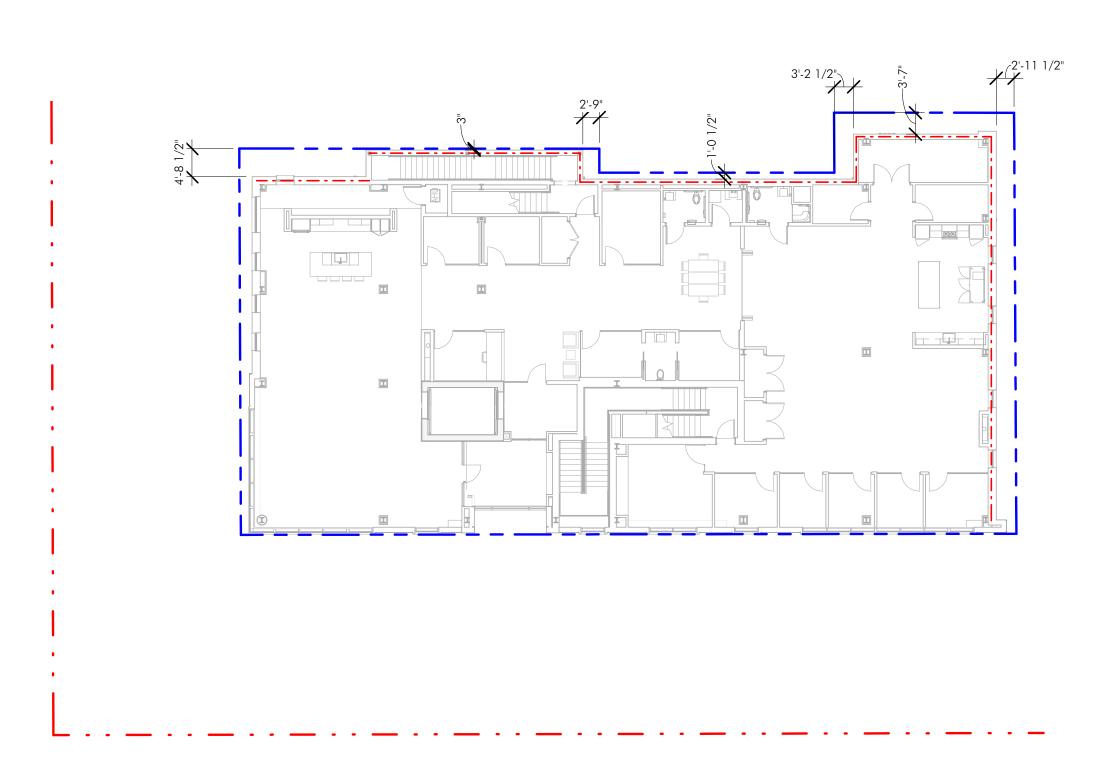
OWNER

EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

33'-1 1/2" WEST FOURTH STREET <u>(50' WIDE)</u> 

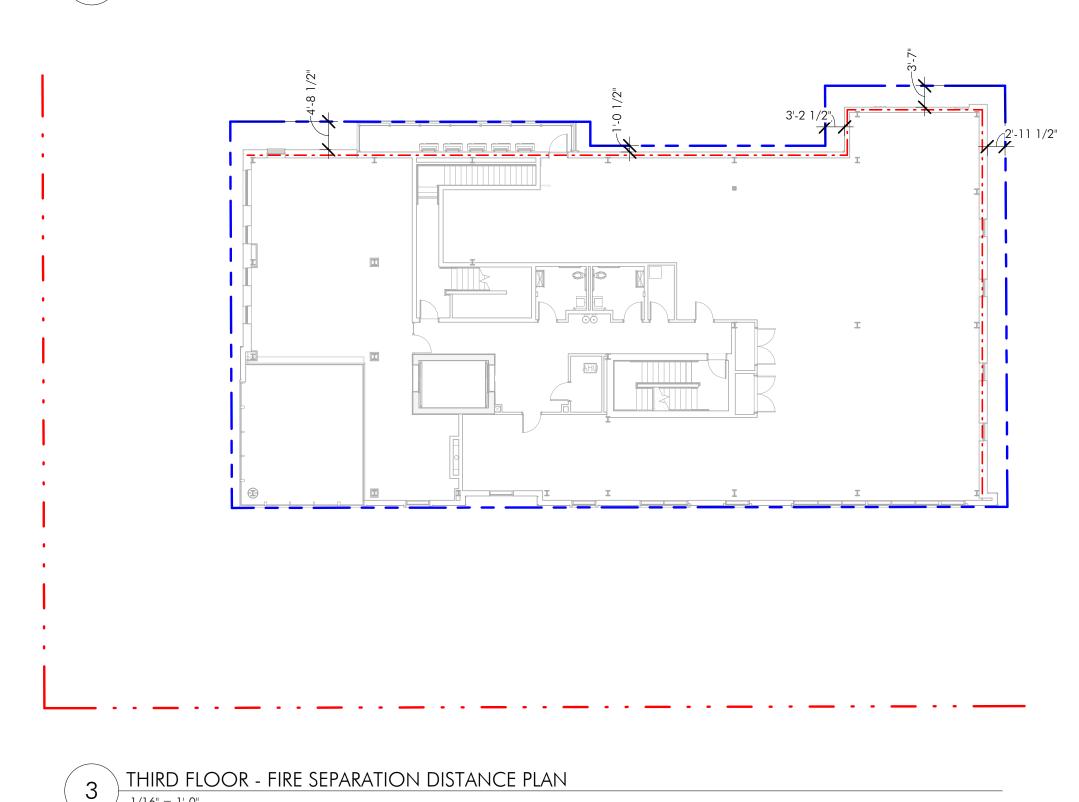
FIRST FLOOR - FIRE SEPARATION DISTANCE

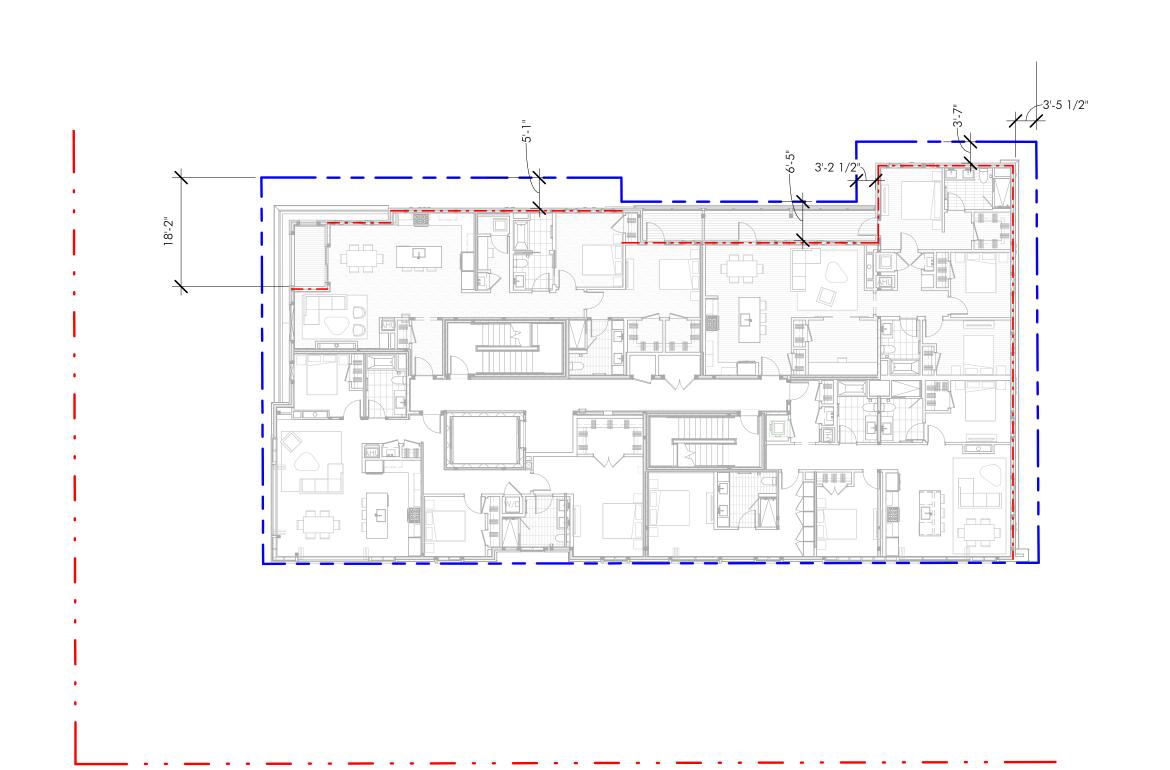
1/16" = 1'-0"



2 SECOND FLOOR - FIRE SEPARATION PLAN

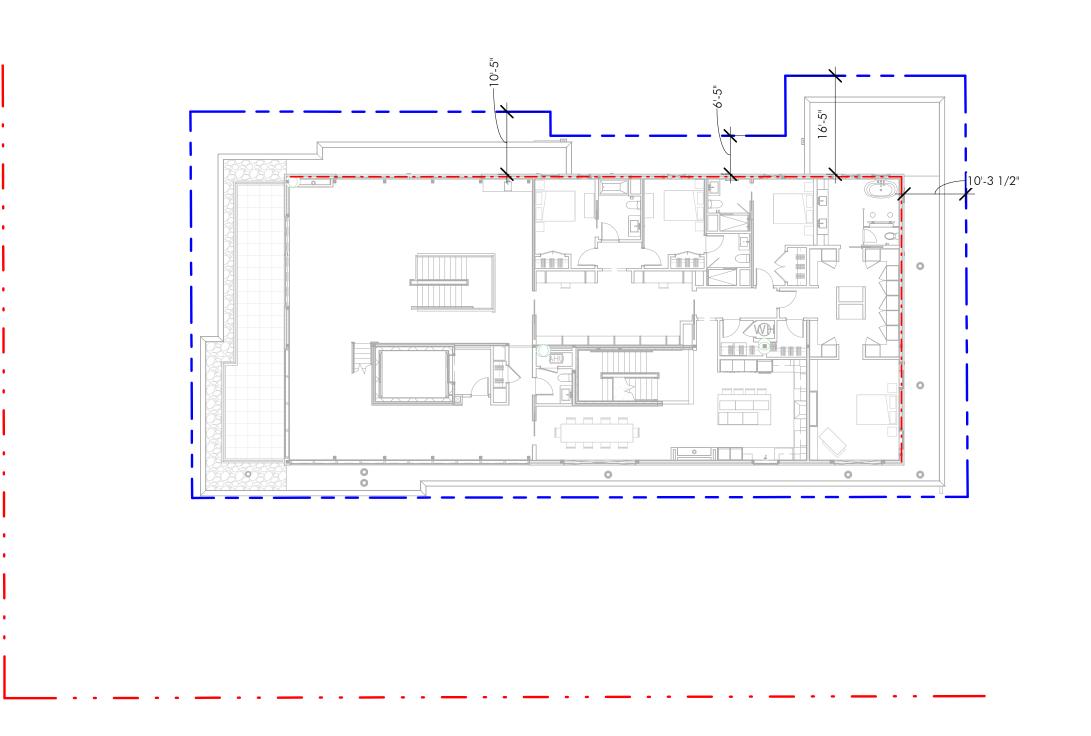
1/16" = 1'-0"

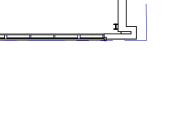


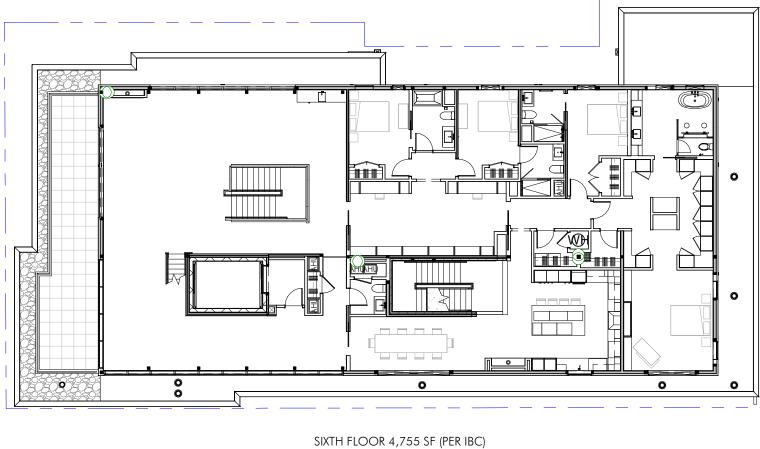


4 FOURTH FLOOR - FIRE SEPARATION DISTANCE

1/16" = 1'-0"



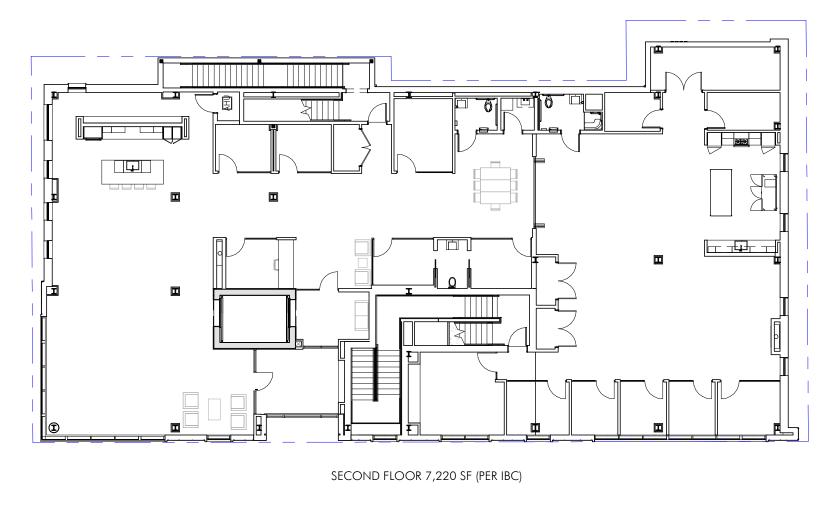




7 SIXTH FLOOR - HEIGHT AND AREA

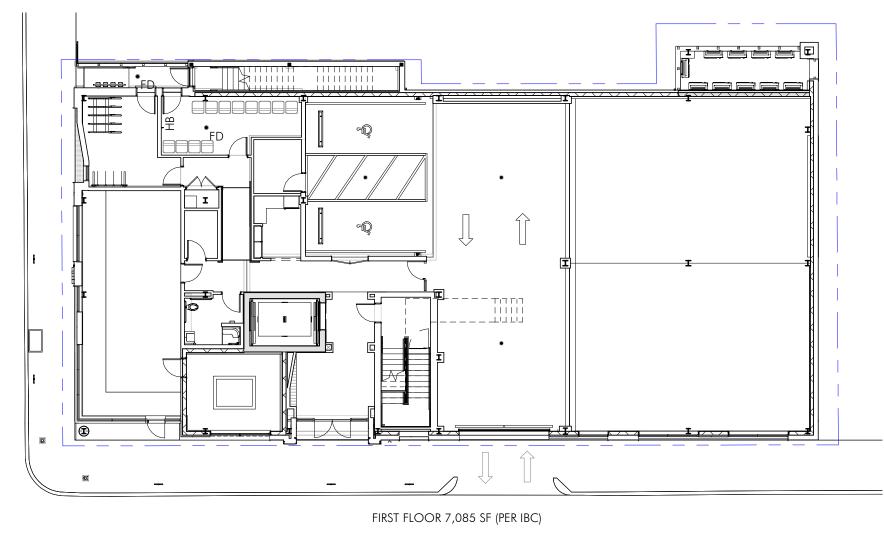
FLOOR LEVEL	USE GROUP	AREA TYPE	AREA (SF)	TYPE	STATUS
BASEMENT	S-2	ACTUAL	4,120	10	PASS
BASEMENT	3-2	ALLOWED	UL	- IA	PA33
LEVEL 1	B C O	ACTUAL	7,085	- IA	PASS
LCVCL	B, S-2	ALLOWED	UL	IA	rass
LEVEL 2	В	ACTUAL	7,220	- IA	PASS
LEVEL 2	D	ALLOWED	UL	IA	rA33
LEVEL 3	D	ACTUAL	7,090	10	PASS
LEVEL 3	В	ALLOWED	UL	- IA	PA33
LEVEL 4	p o	ACTUAL	6,715	VA	DACC
LEVEL 4	R-2	ALLOWED	36,000	VA	PASS
LEVEL 5	R-2	ACTUAL	6,600	VA	PASS
LEVEL 5	1\-Z	ALLOWED	36,000	VA	I'Ass
LEVEL 6	R-2	ACTUAL	4,755	VA	PASS
LEVEL 0	1\-∠	ALLOWED	36,000	٧٨	I ASS
TOTAL			43,585		
		HEIGHT S	SUMMARY		
ELEMENT	USE GROUP	PROPOSED	ALLOWED		STATUS
HEIGHT	R-2	X<70'-0"	70'-0"		PASS
STORIES	1\-2	3	4		17.55

AREA SUMMARY



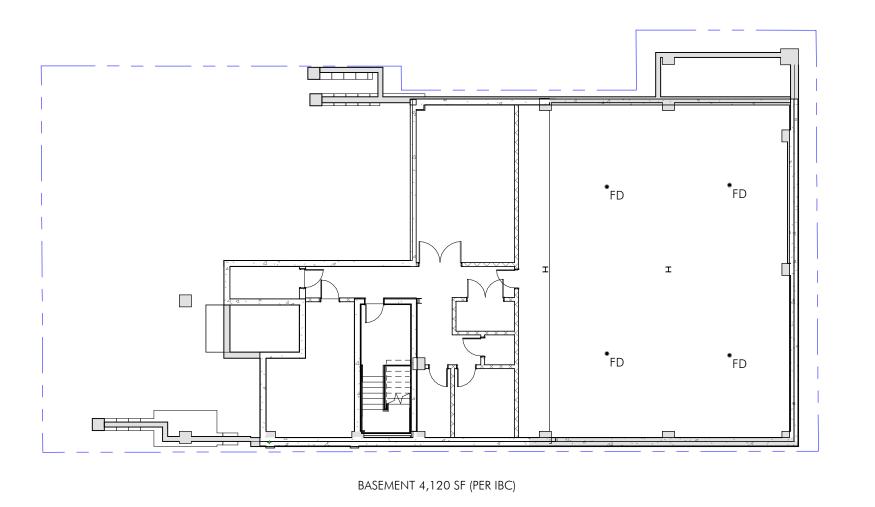
3 SECOND FLOOR - HEIGHT AND AREA

THIRD FLOOR - HEIGHT AND AREA

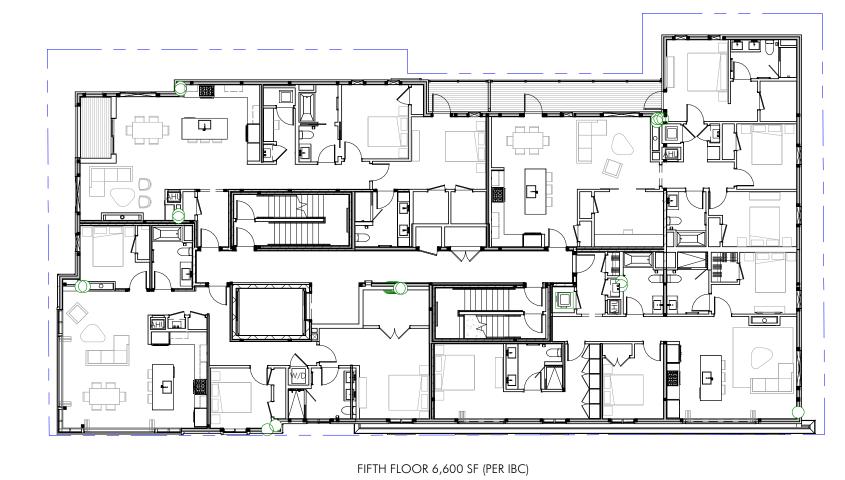


PIRST FLOOR - HEIGHT AND AREA

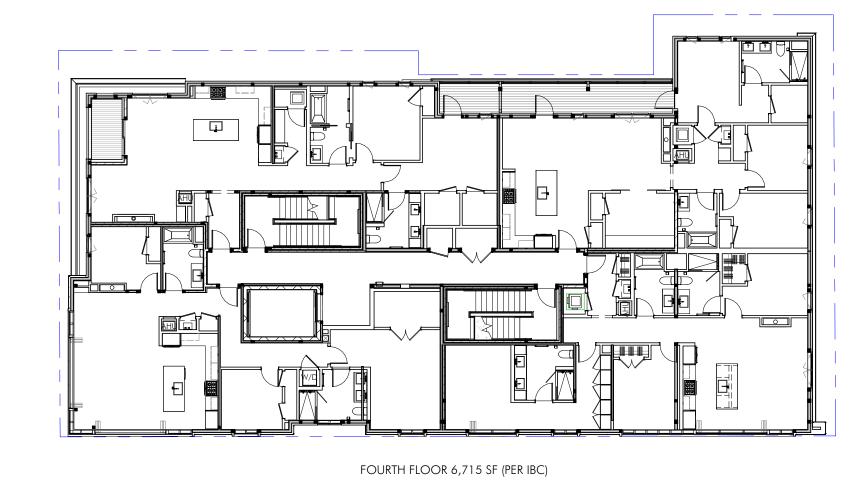
1/16" = 1'-0"



BASEMENT - HEIGHT AND AREA



6 FIFTH FLOOR - HEIGHT AND AREA



5 FOURTH FLOOR - HEIGHT AND AREA



www.embarcstudio.com OWNER

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL engineering 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUED

REVISIONS

33 A STREET SOUTH BOSTON, MA



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE HEIGHT & AREA

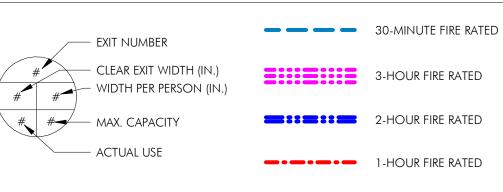
PLANS

DRAWING NUMBER

OCCUPANT SUMMARY TABLE PATTERN OCCUPANCY LOAD FACTOR OCCUPANTS AREA (SQ.FT.) UNCONCENTRATED ASSEMBLY 15 NET 0 Parking 200 GROSS 0 0 RESIDENTIAL 200 GROSS 0 0 BUSINESS 100 GROSS 0 0 STORAGE 4,520 300 GROSS 15 TOTAL: 15

				EXIT CAPACITY TA	BLE			
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 2	34"	0.15	226	48"	0.2	240	226	15





EGRESS PLAN KEY

— ACTUAL/ALLOWED TRAVEL DISTANCE

ACTUAL/ALLOWED COMMON PATH

ACTUAL/ALLOWED DEAD END

CONSULTANTS

CIVIL

| ARCHITECT

60 K STREET, 3RD FLOOR

BOSTON, MA 02127

www.embarcstudio.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

O: 617.766.8330

OWNER

COLUMBIA DESIGN GROUP

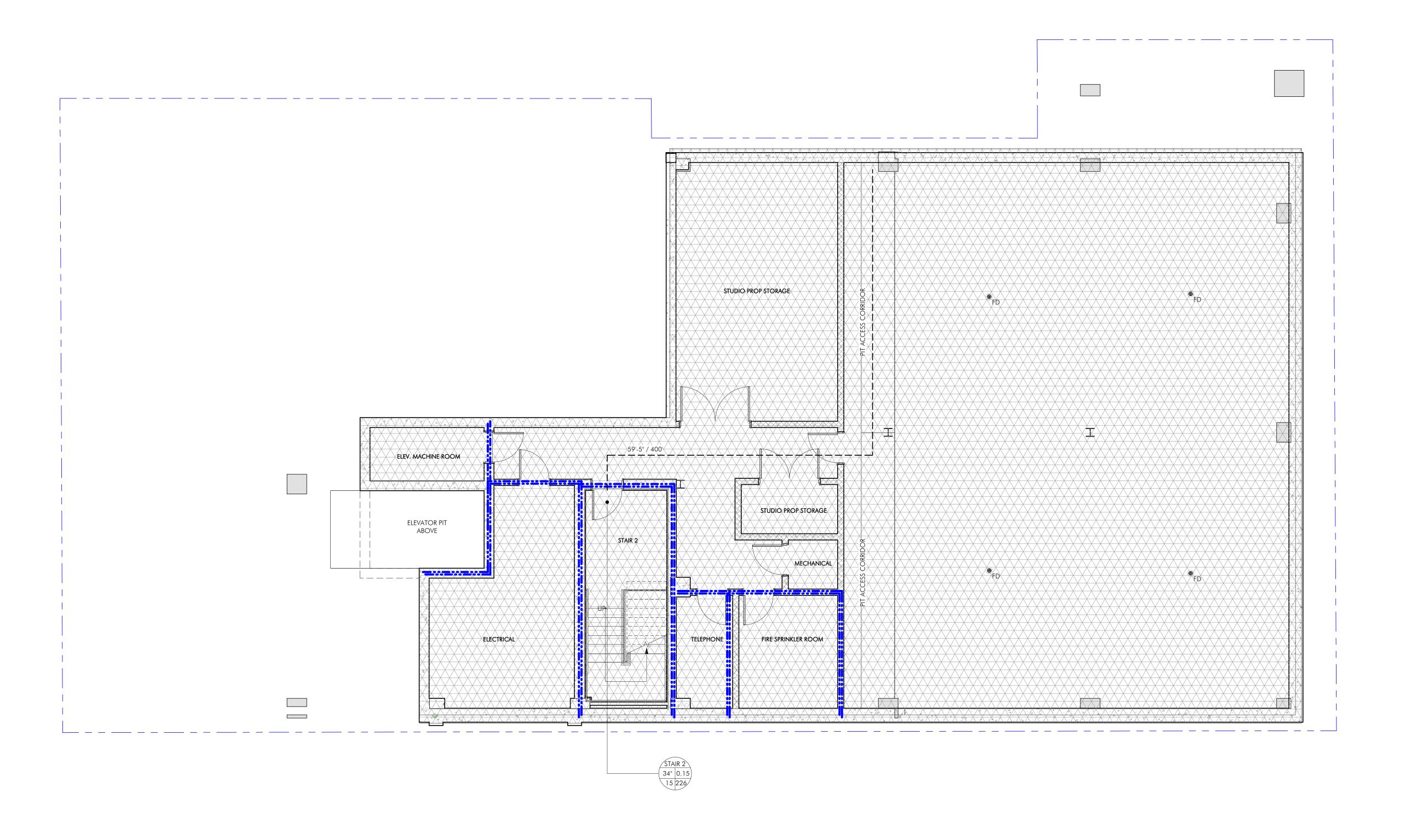
14 UPHAM AVE.
DORCHESTER, MA 02125
617-506-1474

STRUCTURAL
H+O STRUCTURAL
ENGINEERING
100 SUMMER ST, SUITE 1600 BOSTON, MA
02210
617-938-3349

MEP/FP
EDE, INC.
135 BEAVER STREET, SUITE 404
WALTHAM, MA 02452
617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459

617-446-3114



BASEMENT - LIFE SAFETY PLAN

3/16" = 1'-0"



REVISIONS

DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: 02/07/2022

PROJECT #: 20020
SCALE: As indicated

DRAWING TITLE
PARKING GARAGE

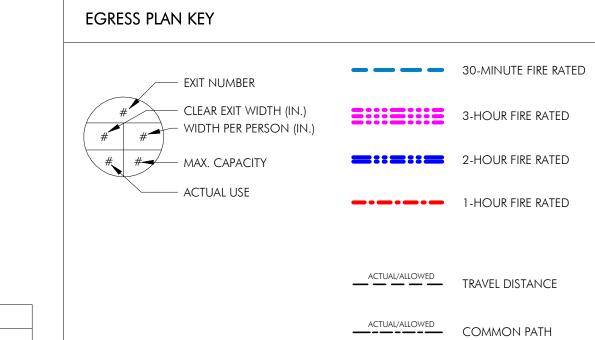
- LIFE SAFETY & EGRESS PLAN

DRAWING NUMBER

AOO 1 – 5

OCCUPANT SUMMARY TABLE							
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS			
	UNCONCENTRATED ASSEMBLY	705	15 NET	47			
	PARKING	4,399	200 GROSS	22			
	RESIDENTIAL	0	200 GROSS	0			
	BUSINESS	1,283	100 GROSS	13			
	STORAGE	827	300 GROSS	3			
			TOTAL:	85			

	EXIT CAPACITY TABLE							
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
EXIT 1	68"	0.15	453				453	38
EXIT 2	34"	0.15	226				226	47



— ACTUAL/ALLOWED DEAD END

ARCHITECT

EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

OWNER

CONSULTANTS

CIVIL
COLUMBIA DESIGN GROUP
14 UPHAM AVE.
DORCHESTER, MA 02125
617-506-1474

MICHAEL INDRESANO

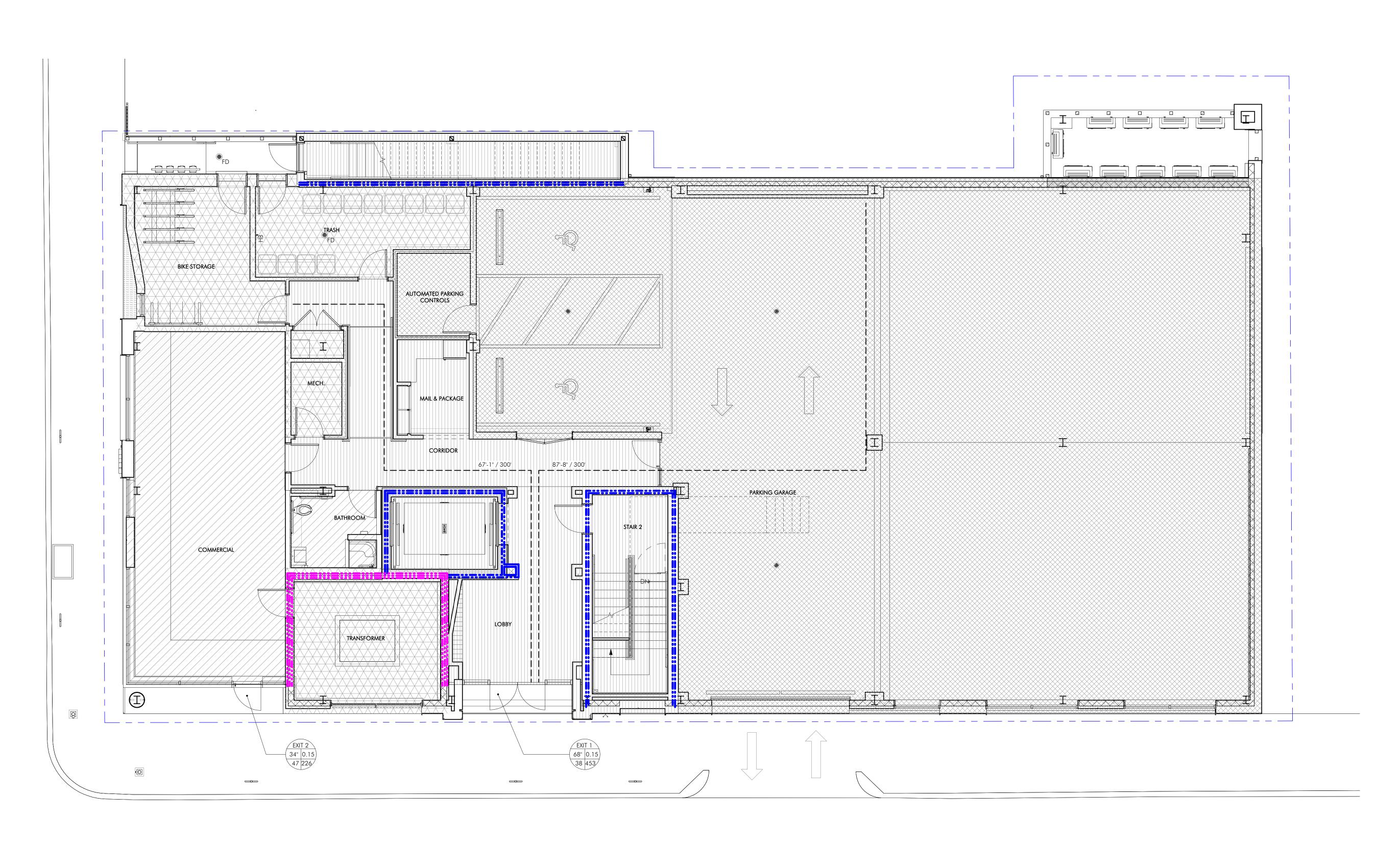
33 A ST, BOSTON, MA 02127

STRUCTURAL
H+O STRUCTURAL
ENGINEERING
100 SUMMER ST, SUITE 1600 BOSTON, MA
02210
617-938-3349

MEP/FP
EDE, INC.

135 BEAVER STREET, SUITE 404
WALTHAM, MA 02452
617-969-7700

ENERGY MODELING
ENVIENERGY STUDIO
831 BEACON ST. #115
NEWTON CENTRE, MA 02459
617-446-3114



1 FIRST FLOOR - LIFE SAFETY PLAN

3/16" = 1'-0"

DRAWING INFORMATION

MARK ISSUE DATE

 DRAWING INFORMATION

 ISSUE:
 ISSUED FOR CONSTI

 DATE:
 02/07/2022

 PROJECT #:
 20020

REVISIONS

SCALE: As indicated

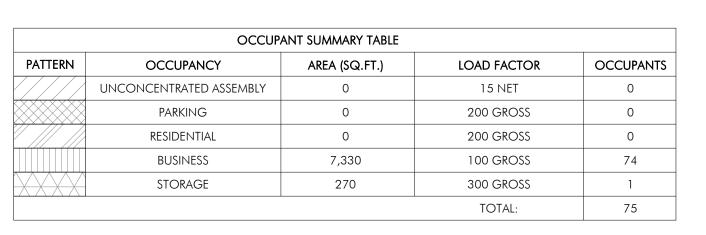
DRAWING TITLE

LEVEL 1 LIFE
SAFETY & EGRESS
PLAN

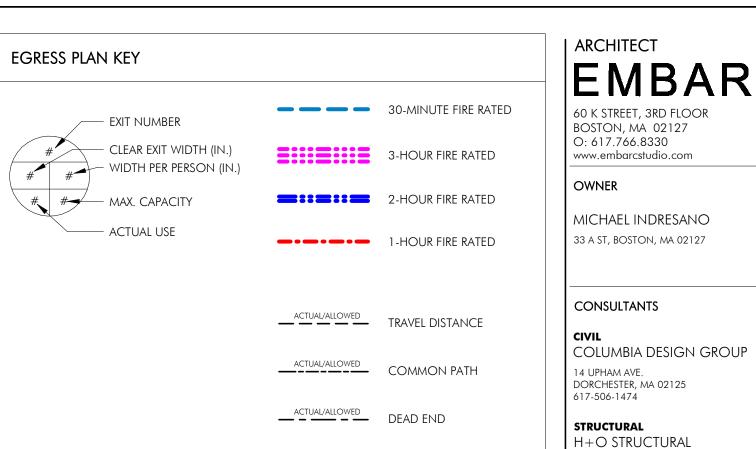
DRAWING NUMBER

STUDIO, LLC

	EXIT CAPACITY TABLE										
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE			
STAIR 1	34"	0.15	226	48"	0.2	240	226	37			
STAIR 2	34"	0.15	226	48"	0.2	240	226	38			



		– exit number		
	# #	– CLEAR EXIT WIDTH (IN.) – WIDTH PER PERSON (IN.)		3-HOUR FIRE RATED
	# #	– MAX. CAPACITY		2-HOUR FIRE RATED
		– ACTUAL USE		1-HOUR FIRE RATED
			ACTUAL/ALLOWED	TRAVEL DISTANCE
CTUAL USE			ACTUAL/ALLOWED	COMMON PATH
			ACTUAL/ALLOWED	
37			, ici one, need ite	DEAD END
38				



engineering

02210 617-938-3349

MEP/FP EDE, INC.

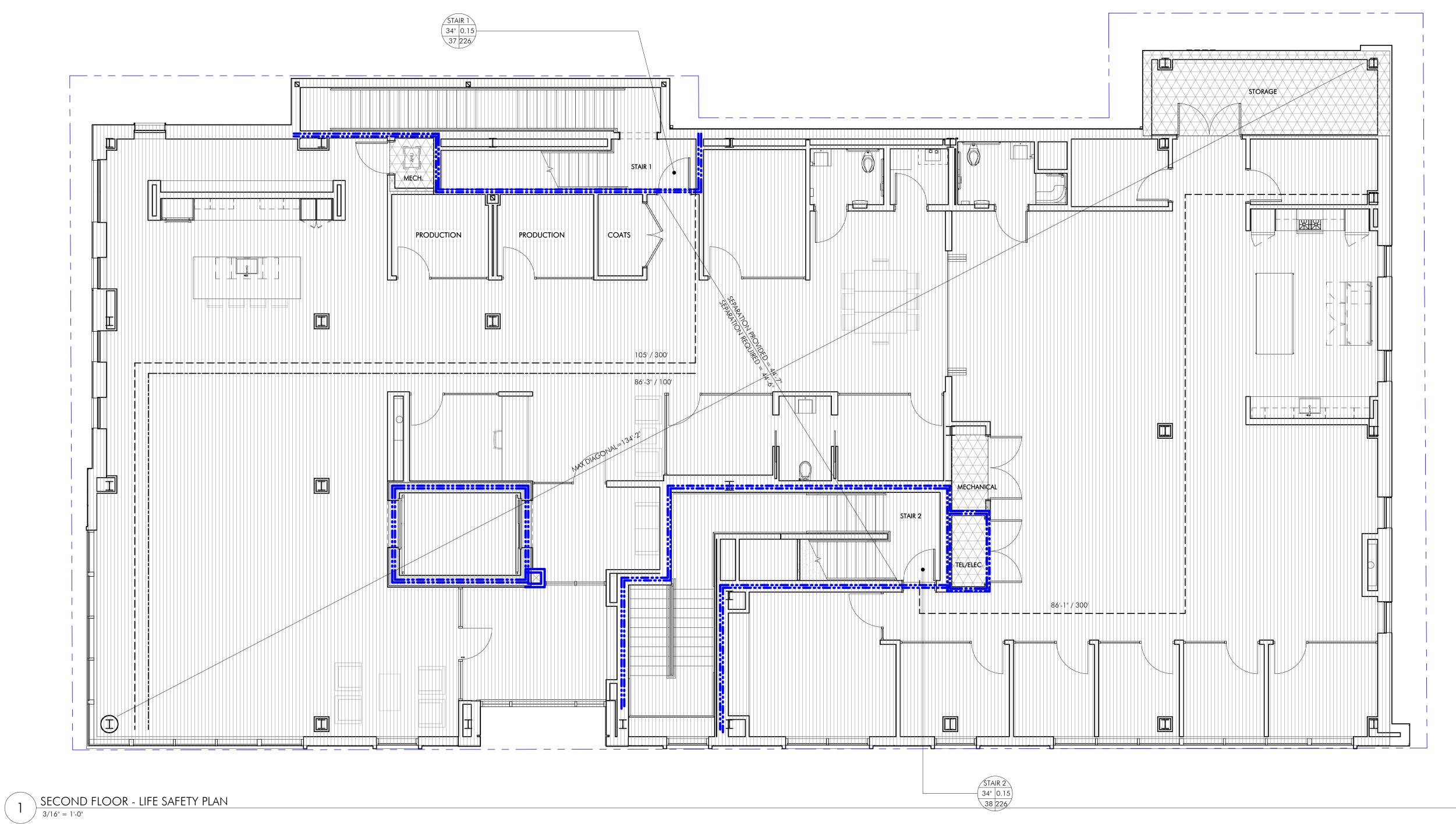
100 SUMMER ST, SUITE 1600 BOSTON, MA

135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700

ENERGY MODELING envienergy studio

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



REVISIONS



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE LEVEL 2 LIFE SAFETY & EGRESS PLAN

DRAWING NUMBER

copyright: EMBARC STUDIO, LLC

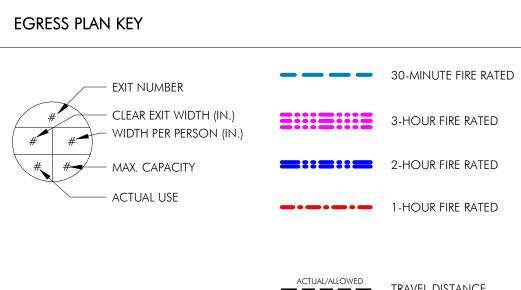
OCCUPANT SUMMARY TABLE										
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS						
	UNCONCENTRATED ASSEMBLY	0	15 NET	0						
	PARKING	0	200 GROSS	0						
	residential	0	200 GROSS	0						
	BUSINESS	6,860	100 GROSS	69						
	STORAGE	113	300 GROSS	1						
			TOTAL:	70						

	EXIT CAPACITY TABLE									
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE		
STAIR 1	34"	0.15	226	48"	0.2	240	226	35		
STAIR 2	34"	0.15	226	48"	0.2	240	226	35		



\_\_\_\_\_\_\_\_\_\_\_

NG C. PERSO	APACITY NS)	ACTUAL USE
226	)	35



\_\_\_\_ACTUAL/ALLOWED\_\_\_\_\_ TRAVEL DISTANCE \_\_\_\_\_ACTUAL/ALLOWED COMMON PATH

ACTUAL/ALLOWED DEAD END

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474 STRUCTURAL H+O STRUCTURAL

COLUMBIA DESIGN GROUP

| ARCHITECT

OWNER

60 K STREET, 3RD FLOOR

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com

EMBARC

engineering 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC.

WALTHAM, MA 02452 617-969-7700 ENERGY MODELING ENVIENERGY STUDIO

135 BEAVER STREET, SUITE 404

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

REVISIONS MARK ISSUE DATE DRAWING INFORMATION

PROJECT #: <u>20020</u>

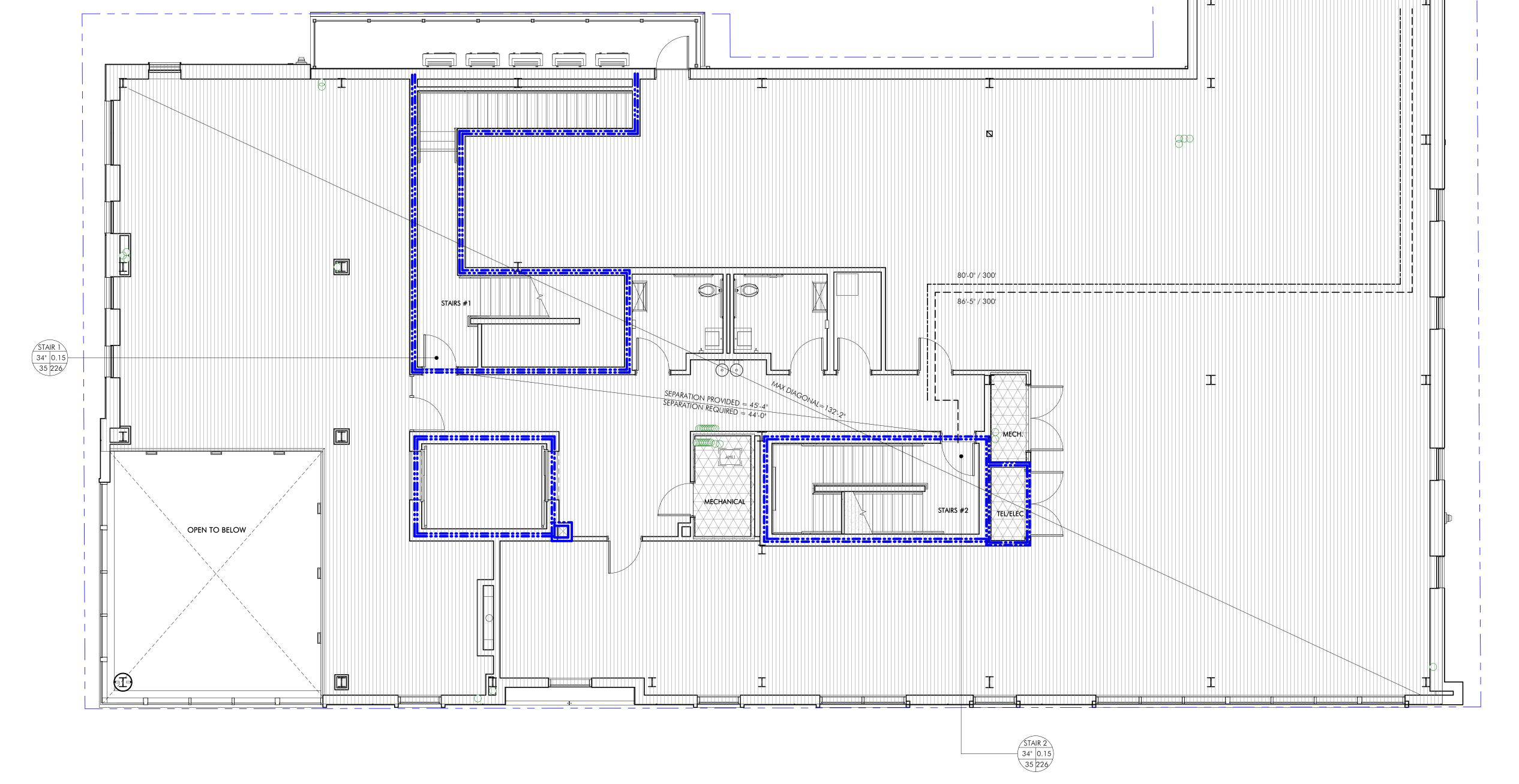
DRAWING TITLE

PLAN

DRAWING NUMBER

LEVEL 3 LIFE

SAFETY & EGRESS

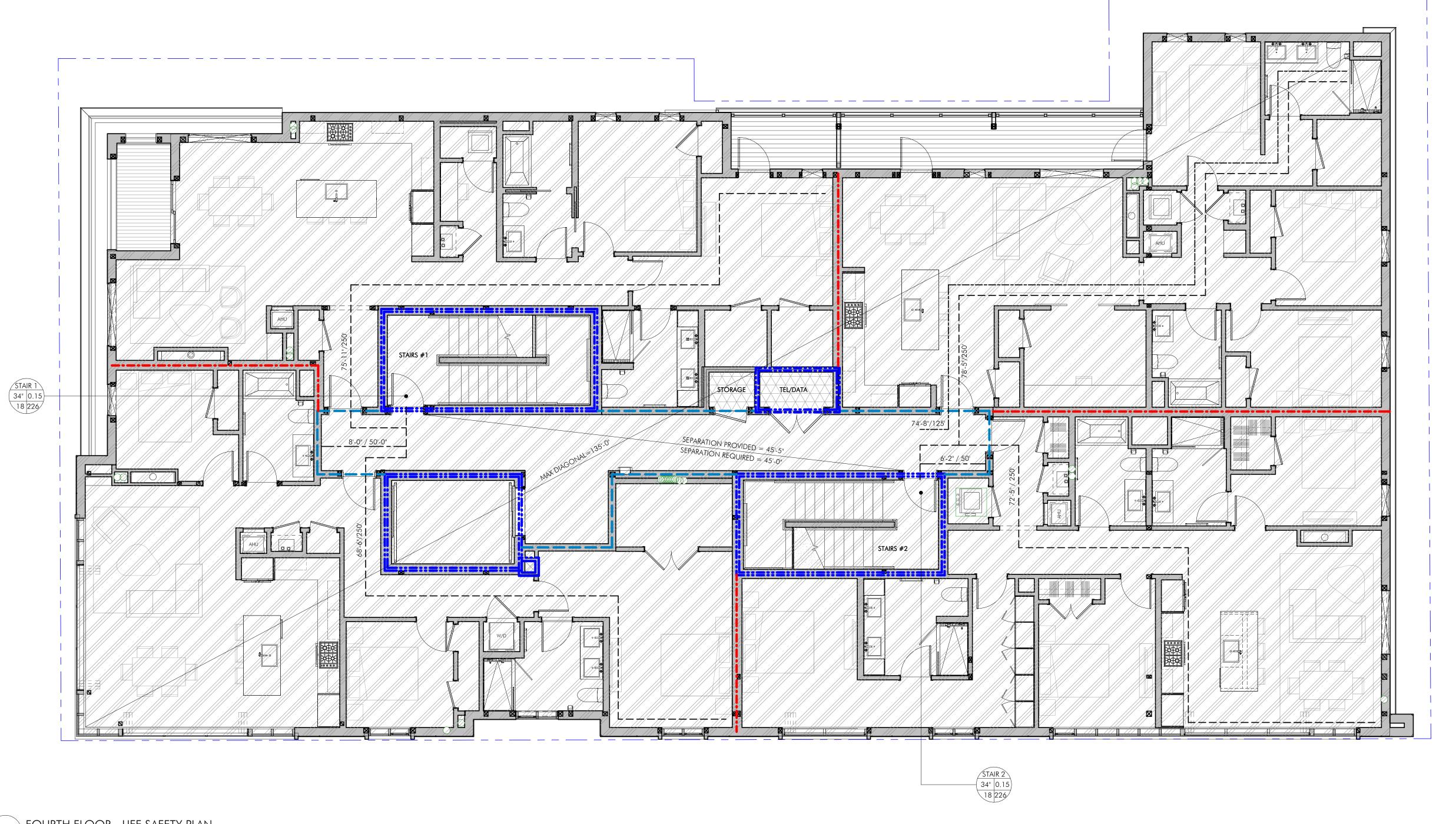


OCCUPANT SUMMARY TABLE										
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS						
	UNCONCENTRATED ASSEMBLY	0	15 NET	0						
	PARKING	0	200 GROSS	0						
	RESIDENTIAL	6,992	200 GROSS	35						
	BUSINESS	0	100 GROSS	0						
	STORAGE	123	300 GROSS	1						
, , , , , , , , , , , , , , , ,	TOTAL: 36									

	EXIT CAPACITY TABLE									
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE		
STAIR 1	34"	0.15	226	48"	0.2	240	226	18		
STAIR 2	34"	0.15	226	48"	0.2	240	226	18		

OCCUPANT SUMMARY TABLE								
Υ	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS					
ASSEMBLY	0	15 NET	0					
	0	200 GROSS	0					
L	6,992	200 GROSS	35					
	0	100 GROSS	0					
	123	300 GROSS	1					
•	-	TOTAL:	36					

EGRESS PLA	N KEY		
	— exit number		30-MINUTE FIRE RATED
# #	— CLEAR EXIT WIDTH (IN.) — WIDTH PER PERSON (IN.)		3-HOUR FIRE RATED
# #	— MAX. CAPACITY	=::=::=	2-HOUR FIRE RATED
	— ACTUAL USE		1-HOUR FIRE RATED
		ACTUAL/ALLOWED	TRAVEL DISTANCE
		ACTUAL/ALLOWED	COMMON PATH
		ACTUAL/ALLOWED	DEAD END



ARCHITECT EMBARC 580 HARRISON AVE, SUITE 2W

> MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com OWNER

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

CONSULTANTS

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

REVISIONS MARK ISSUE DATE



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE LEVEL 4 LIFE SAFETY & EGRESS

PLAN DRAWING NUMBER A001-9

copyright: EMBARC INC.

OCCUPANT SUMMARY TABLE										
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS						
	UNCONCENTRATED ASSEMBLY	0	15 NET	0						
	PARKING	0	200 GROSS	0						
	residential	6,876	200 GROSS	35						
	BUSINESS	0	100 GROSS	0						
	STORAGE	123	300 GROSS	1						
	TOTAL: 36									

	EXIT CAPACITY TABLE										
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE			
STAIR 1	34"	0.15	226	48"	0.2	240	226	18			
STAIR 2	34"	0.15	226	48"	0.2	240	226	18			

EGRESS PLA	N KEY		
	— exit number		30-MINUTE FIRE RATED
# # #	— CLEAR EXIT WIDTH (IN.) — WIDTH PER PERSON (IN.)		3-HOUR FIRE RATED
# #	— MAX. CAPACITY		2-HOUR FIRE RATED
	— ACTUAL USE		1-HOUR FIRE RATED
		ACTUAL/ALLOWED	TRAVEL DISTANCE
		ACTUAL/ALLOWED	COMMON PATH

ACTUAL/ALLOWED DEAD END

| ARCHITECT 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER michael indresano

33 A ST, BOSTON, MA 02127

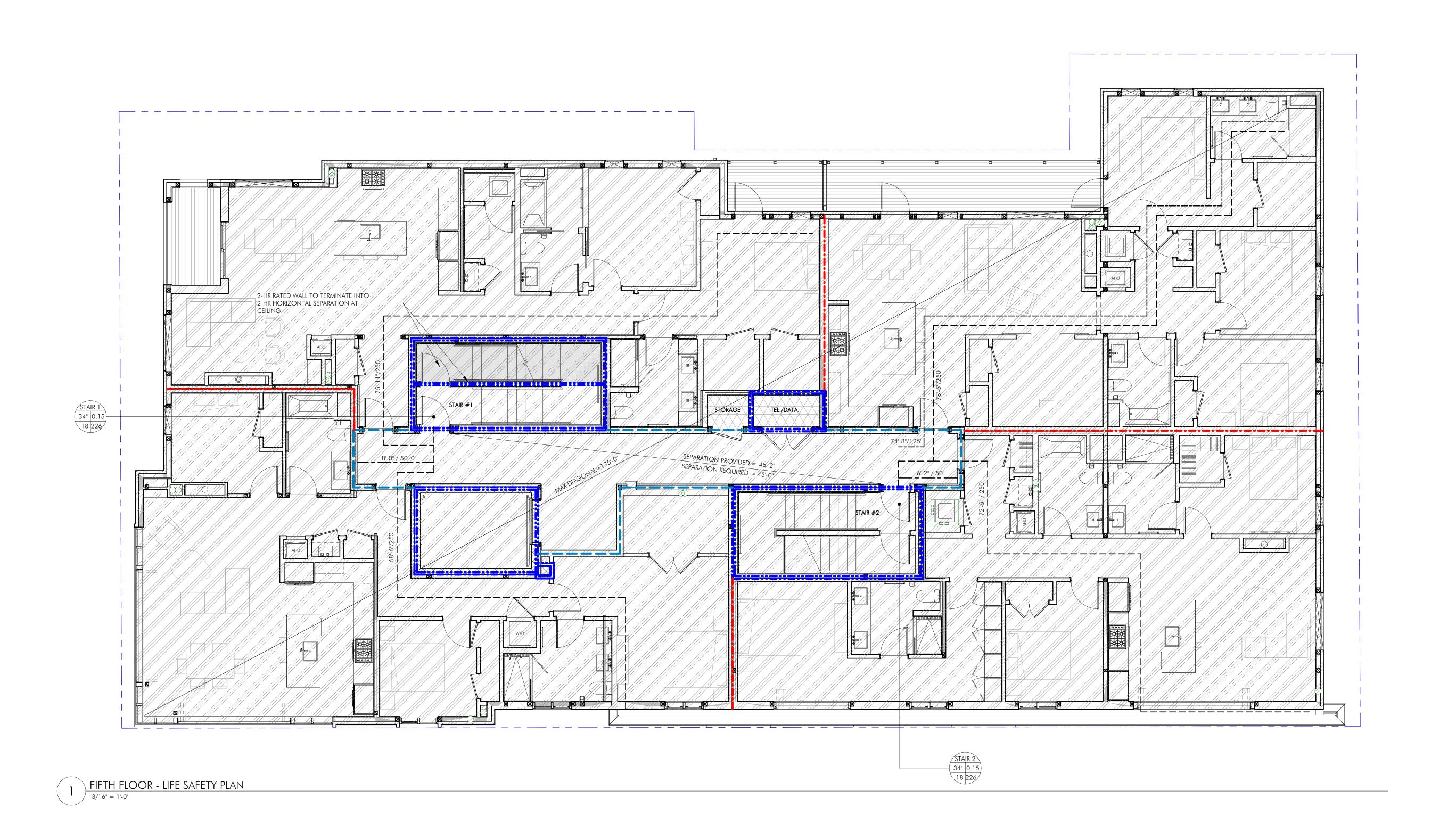
CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



MARK ISSUE DATE

REVISIONS

DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE LEVEL 5 LIFE SAFETY & EGRESS PLAN

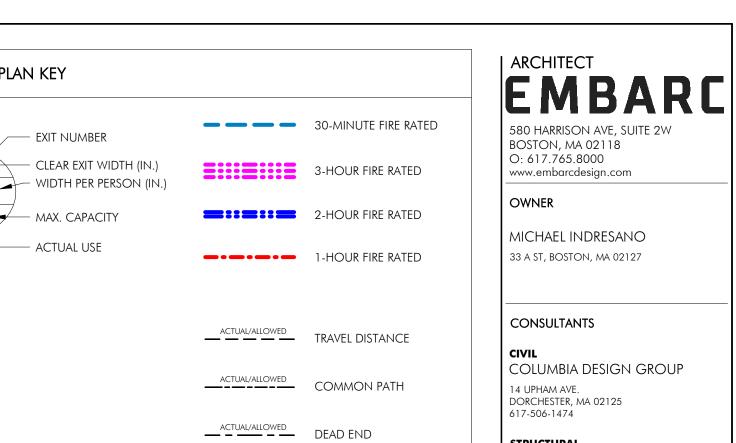
DRAWING NUMBER

A001-10 copyright: EMBARC INC.

OCCUPANT SUMMARY TABLE							
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS			
	UNCONCENTRATED ASSEMBLY	0	15 NET	0			
	Parking	0	200 GROSS	0			
	RESIDENTIAL	4,955	200 GROSS	25			
	BUSINESS	0	100 GROSS	0			
	STORAGE	40	300 GROSS	1			
			TOTAL:	26			

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 1				48"	0.2	240	240	13
STAIR 2				48"	0.2	240	240	13

EGRESS PLAN KEY	N KEY					
EXIT NUMBER		30				
# CLEAR EXIT WIDTH (IN.)  WIDTH PER PERSON (IN.)		3-				
# # MAX. CAPACITY	=::=::=	2-				
ACTUAL USE		1-				
	ACTUAL/ALLOWED	TR				
	ACTUAL/ALLOWED	C				







STRUCTURAL

MEP/FP EDE, INC.

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

H+O STRUCTURAL ENGINEERING

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

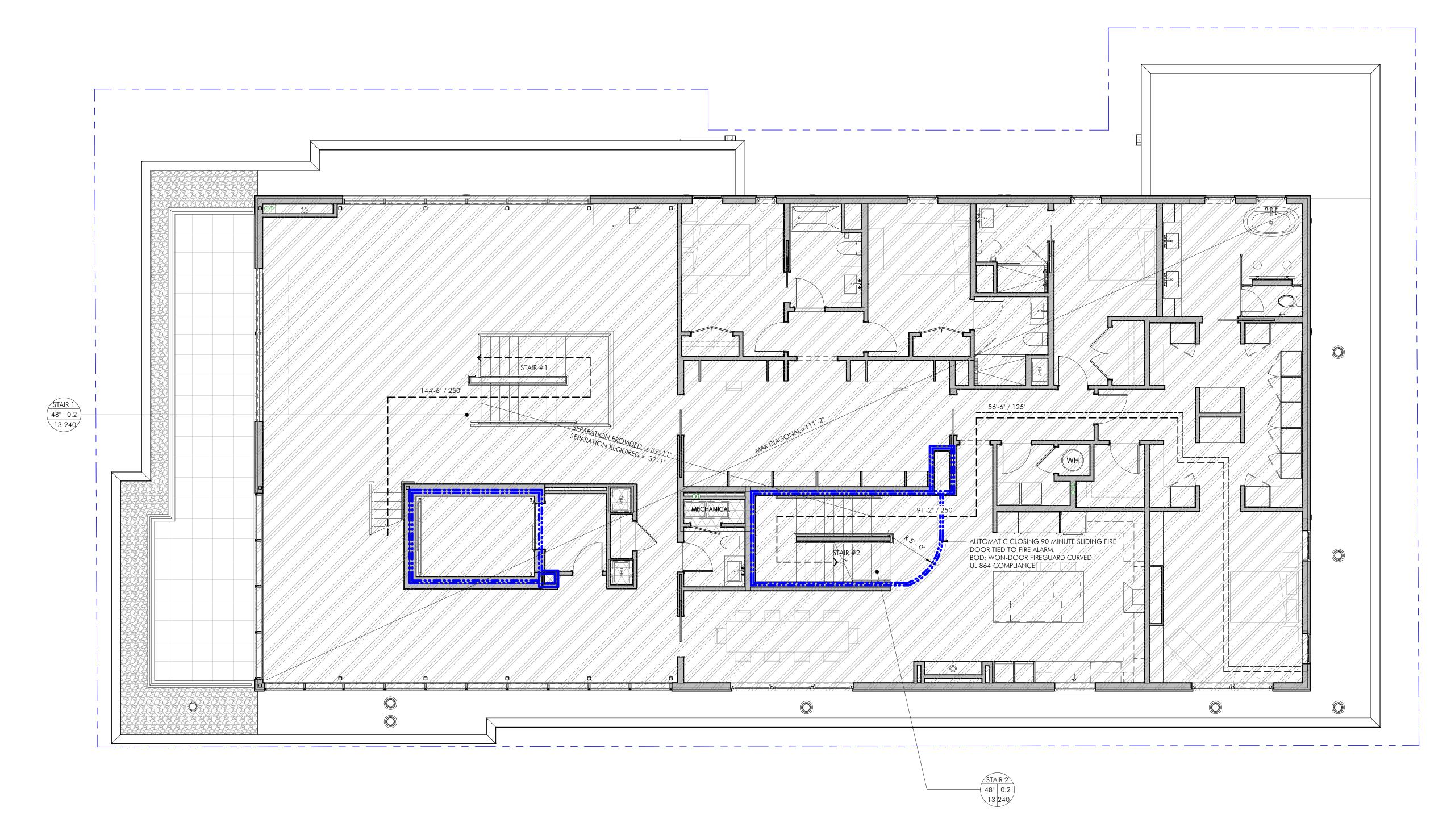
ISSUE: <u>ISSUED FOR CONSTRUCTION</u> DATE: <u>02/07/2022</u>

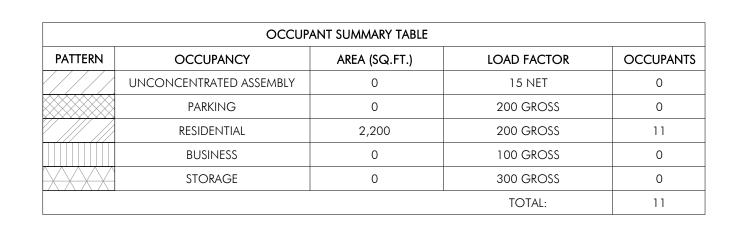
PROJECT #: 20020 SCALE: As indicated

DRAWING TITLE LEVEL 6 LIFE SAFETY & EGRESS PLAN

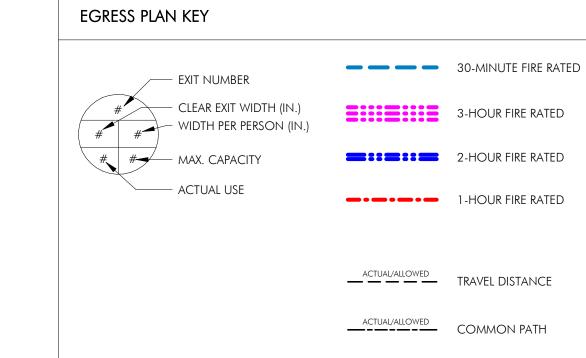
DRAWING NUMBER

copyright: EMBARC INC.





	EXIT CAPACITY TABLE							
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 2	34"	0.15	226	48"	0.2	240	226	6
STAIR 3	34"	0.15	226	48"	0.2	240	226	6



\_\_\_\_ACTUAL/ALLOWED \_\_\_\_ DEAD END

RATED

RA

CONSULTANTS

CIVIL

COLUMBIA DESIGN GROUP

14 UPHAM AVE.
DORCHESTER, MA 02125
617-506-1474

STRUCTURAL

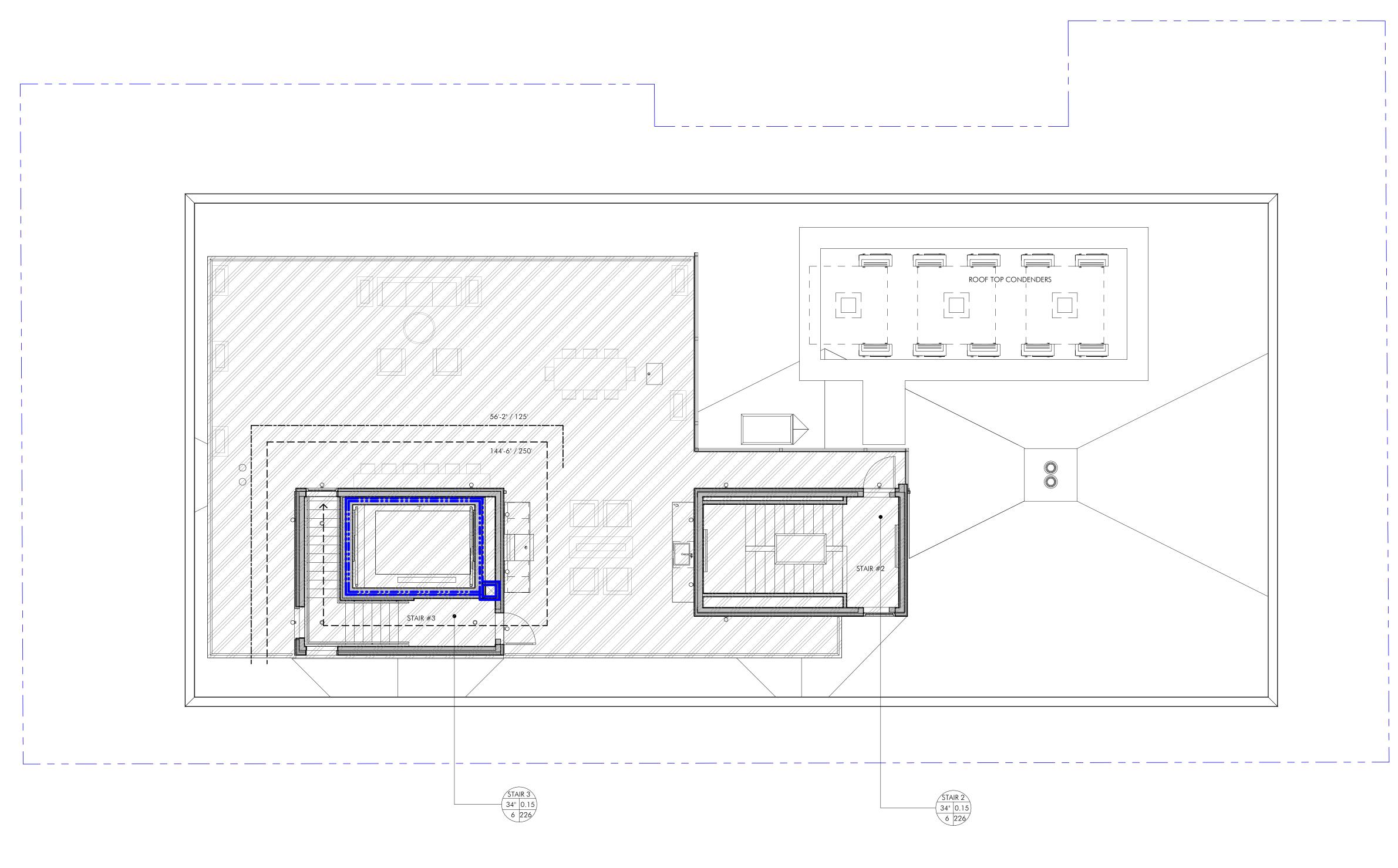
H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600

BOSTON, MA 02210
617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING
ENVIENERGY STUDIO
831 BEACON ST. #115
NEWTON CENTRE, MA 02459
617-446-3114



33 A STREET SOUTH BOSTON, MA

EVISIONS

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

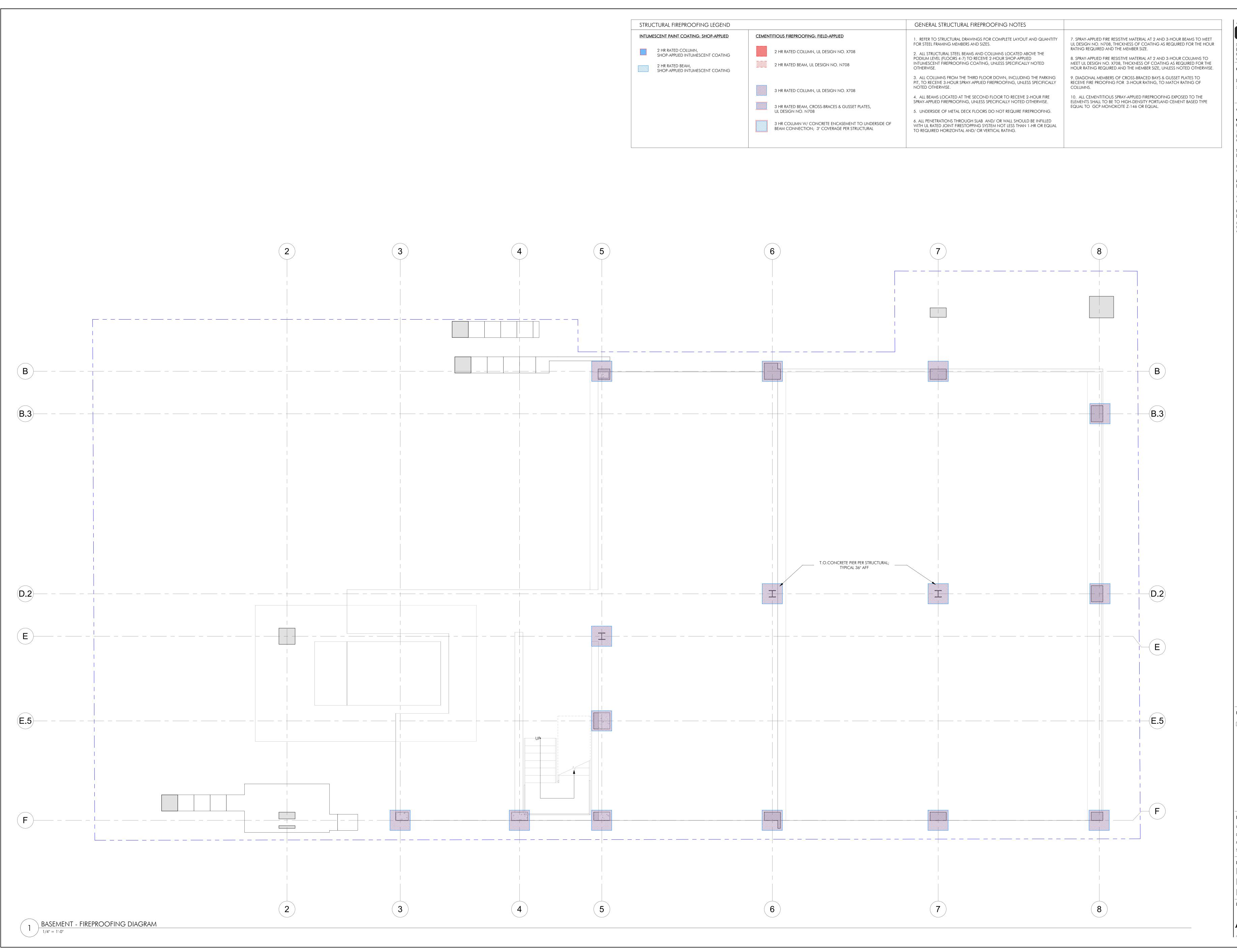
ISSUE: ISSUED FOR CONS

| ISSUE: | ISSUED FOR CONSTRUCTION
| DATE: | 02/07/2022 |
| PROJECT #: 20020 |

ROOF LIFE SAFTY & EGRESS PLAN

DRAWING NUMBER

001-12



BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

OWNER

michael indresano 33 A ST, BOSTON, MA 02127

CONSULTANTS

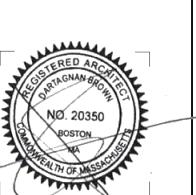
COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

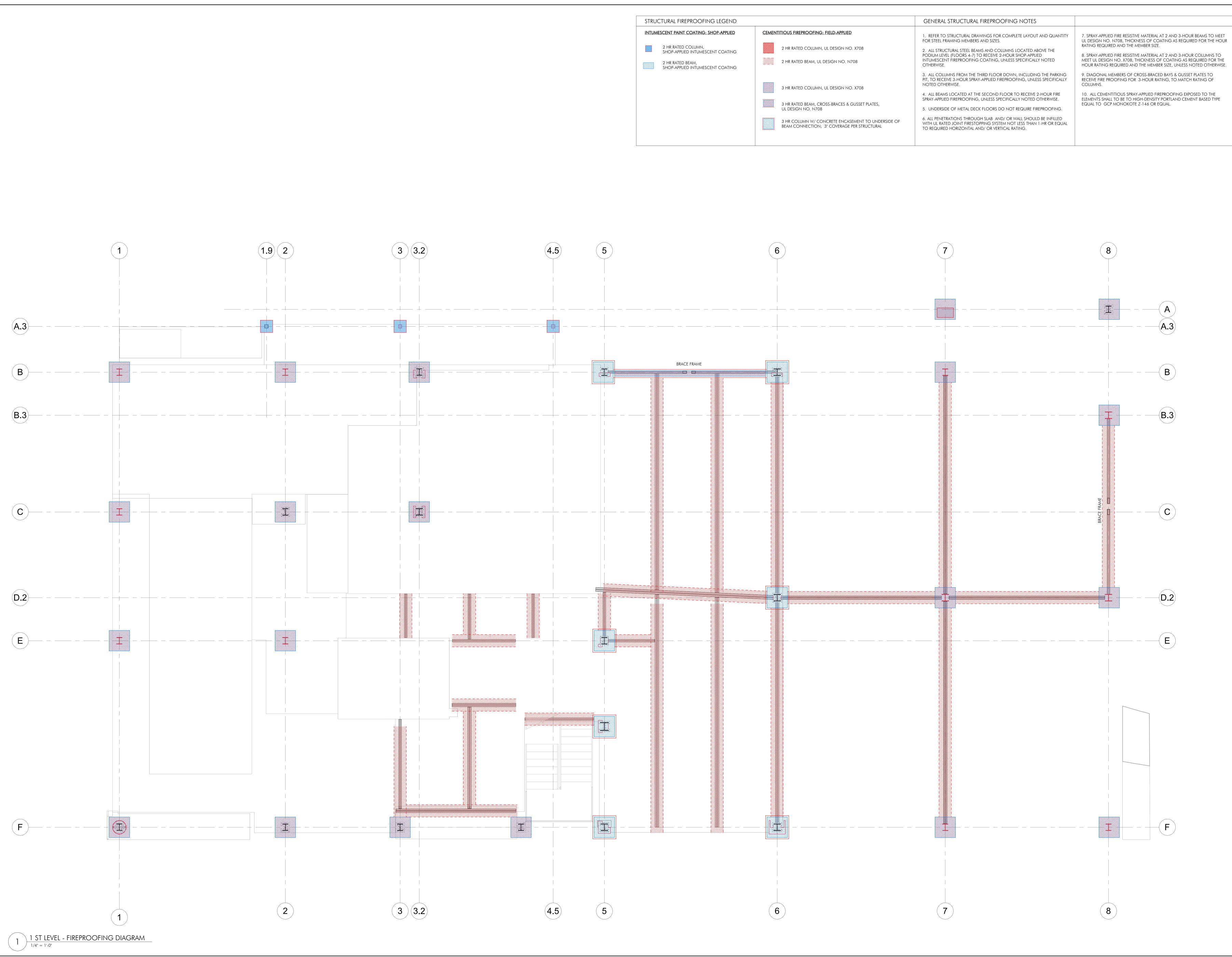


DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE BASEMENT FIREPROOFING

DIAGRAMS



BOSTON, MA 02118

O: 617.765.8000

www.embarcdesign.com OWNER

michael indresano 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

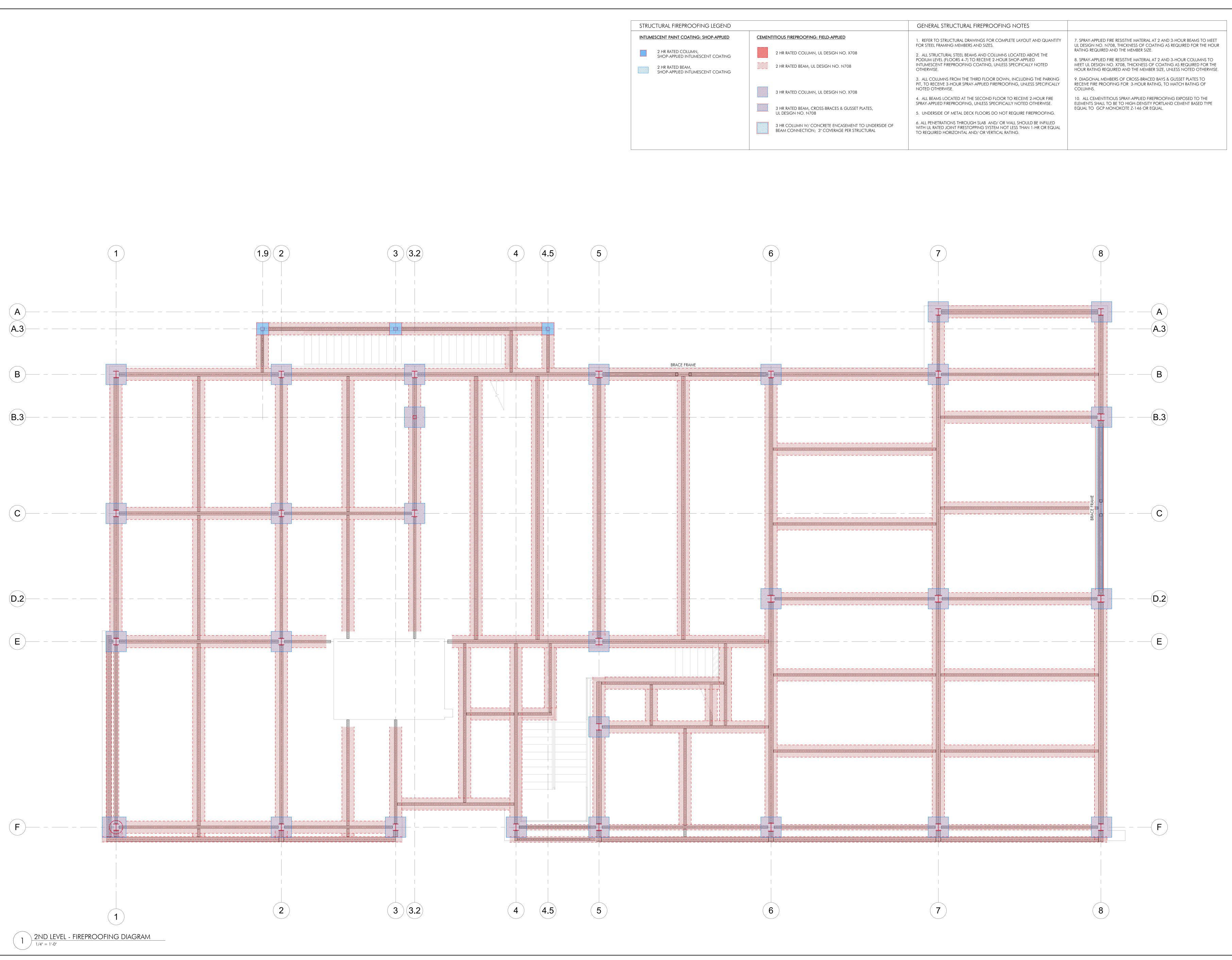


DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE LEVEL 1

FIREPROOFING DIAGRAM



ARCHITECT

EMBAR(
580 HARRISON AVE, SUITE 2W

580 HARRISON AVE, SUITE 2 BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

**OWNER**MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP

14 UPHAM AVE.
DORCHESTER, MA 02125
617-506-1474

H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600

BOSTON, MA 02210
617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 ENERGY MODELING ENVIENERGY STUDIO

ENERGY MODELING
ENVIENERGY STUDIO
831 BEACON ST. #115
NEWTON CENTRE, MA 02459
617-446-3114

ED FOR CONSTRUCTI

SIONS

MARK ISSUE DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: 02/07/2022

 PROJECT #:
 20020

 SCALE:
 As indicated

 DRAWING TITLE

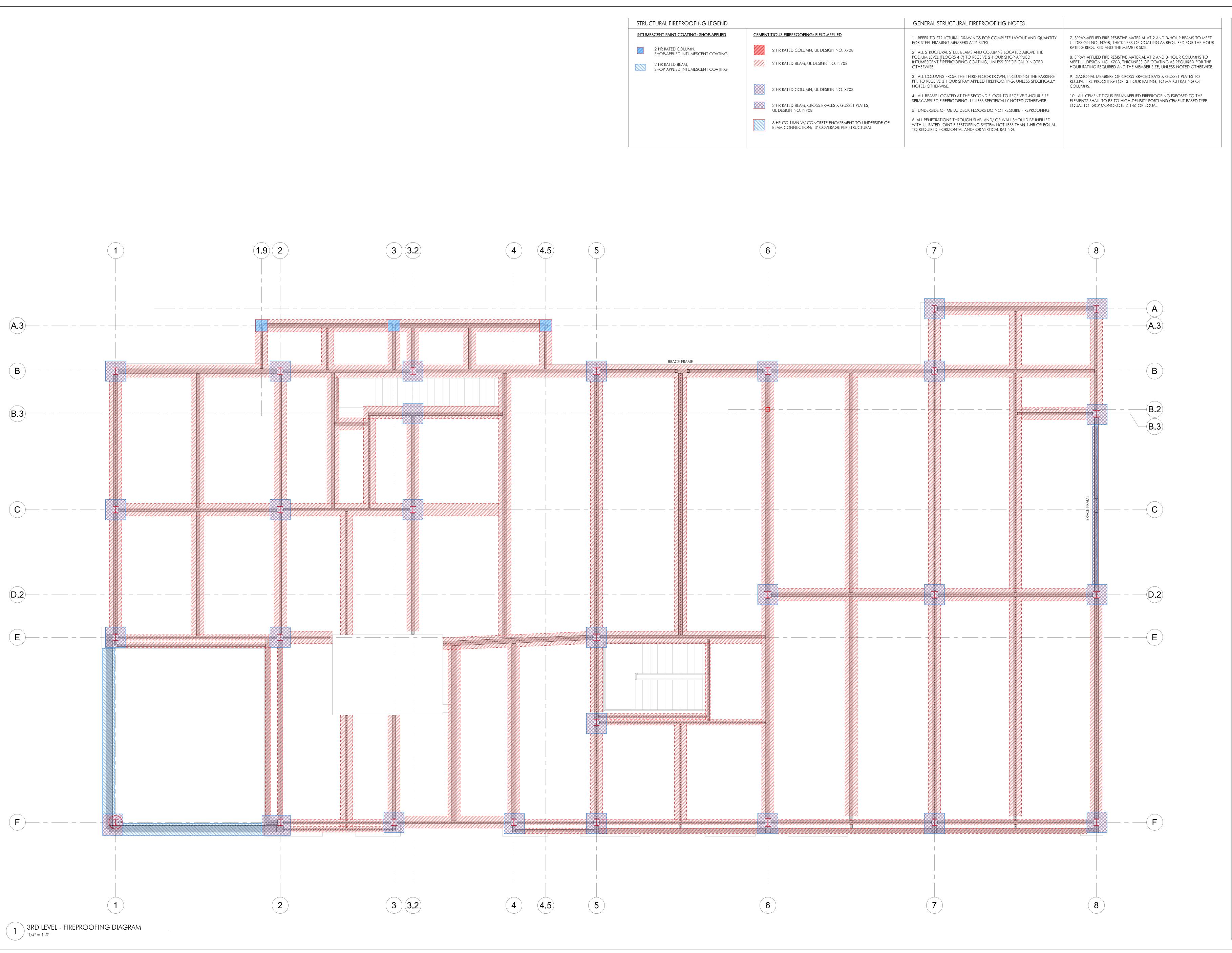
LEVEL 2
FIREPROOFING

copyright: EMBARC INC.

DIAGRAM

DRAWING NUMBER

DRAWING NUMBER



BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE

LEVEL 3 FIREPROOFING

DIAGRAM



BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

OWNER michael indresano

33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION

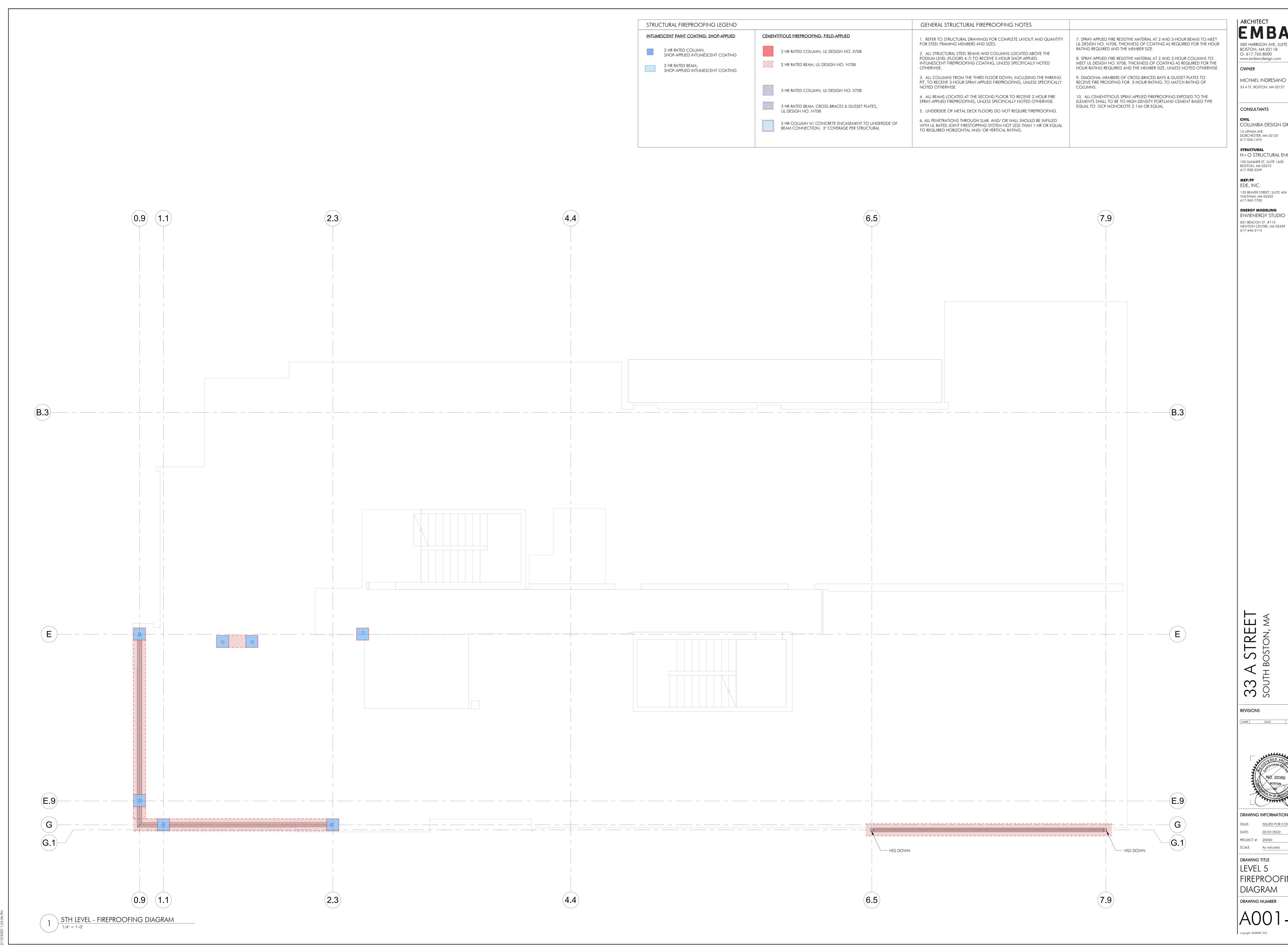
PROJECT #: 20020

DRAWING TITLE LEVEL 4

FIREPROOFING

DIAGRAM

copyright: EMBARC INC.



BOSTON, MA 02118

O: 617.765.8000

www.embarcdesign.com

michael indresano

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

135 BEAVER STREET, SUITE 404

**ENERGY MODELING** 

ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

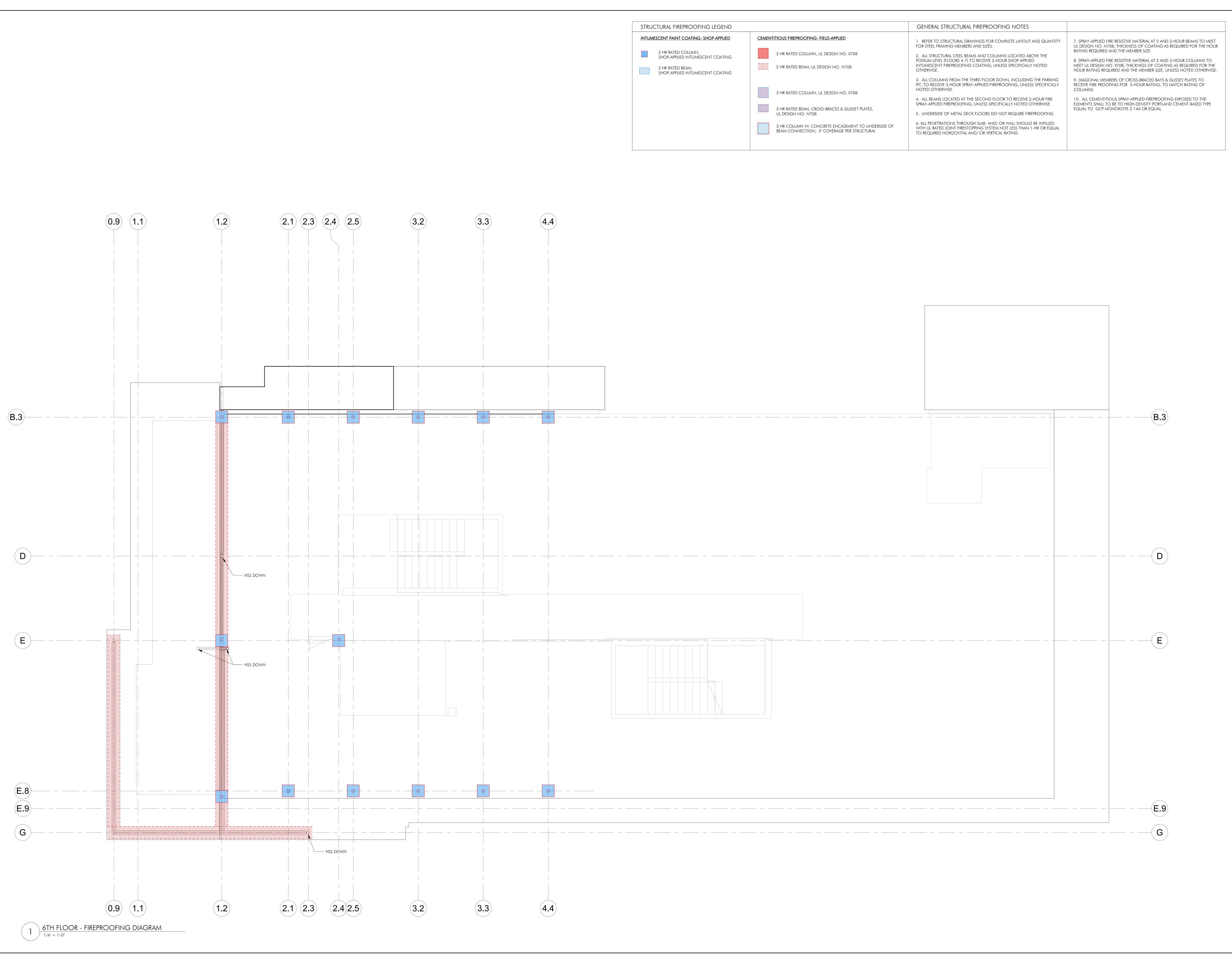


DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE

LEVEL 5



ARCHITECT
EMBARI
580 HARRISON AVE, SUITE 2W
BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP

14 UPHAM AVE.

DORCHESTER, MA 02125
617-506-1474

STRUCTURAL
H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600
BOSTON, MA 02210
617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

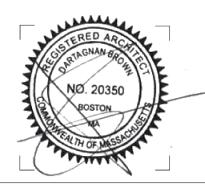
WALTHAM, MA 02452 617-969-7700 ENERGY MODELING ENVIENERGY STUDIO

ENERGY MODELING
ENVIENERGY STUDIO
831 BEACON ST. #115
NEWTON CENTRE, MA 02459
617-446-3114

SUED FOR CONSTRU

SIONS ISSUE D

STERED ARCH



DRAWING INFORMATION

ISSUE: ISSUED FOR CONST

ISSUE: ISSUED FOR CONSTRUCTION

DATE: 02/07/2022

PROJECT #: 20020

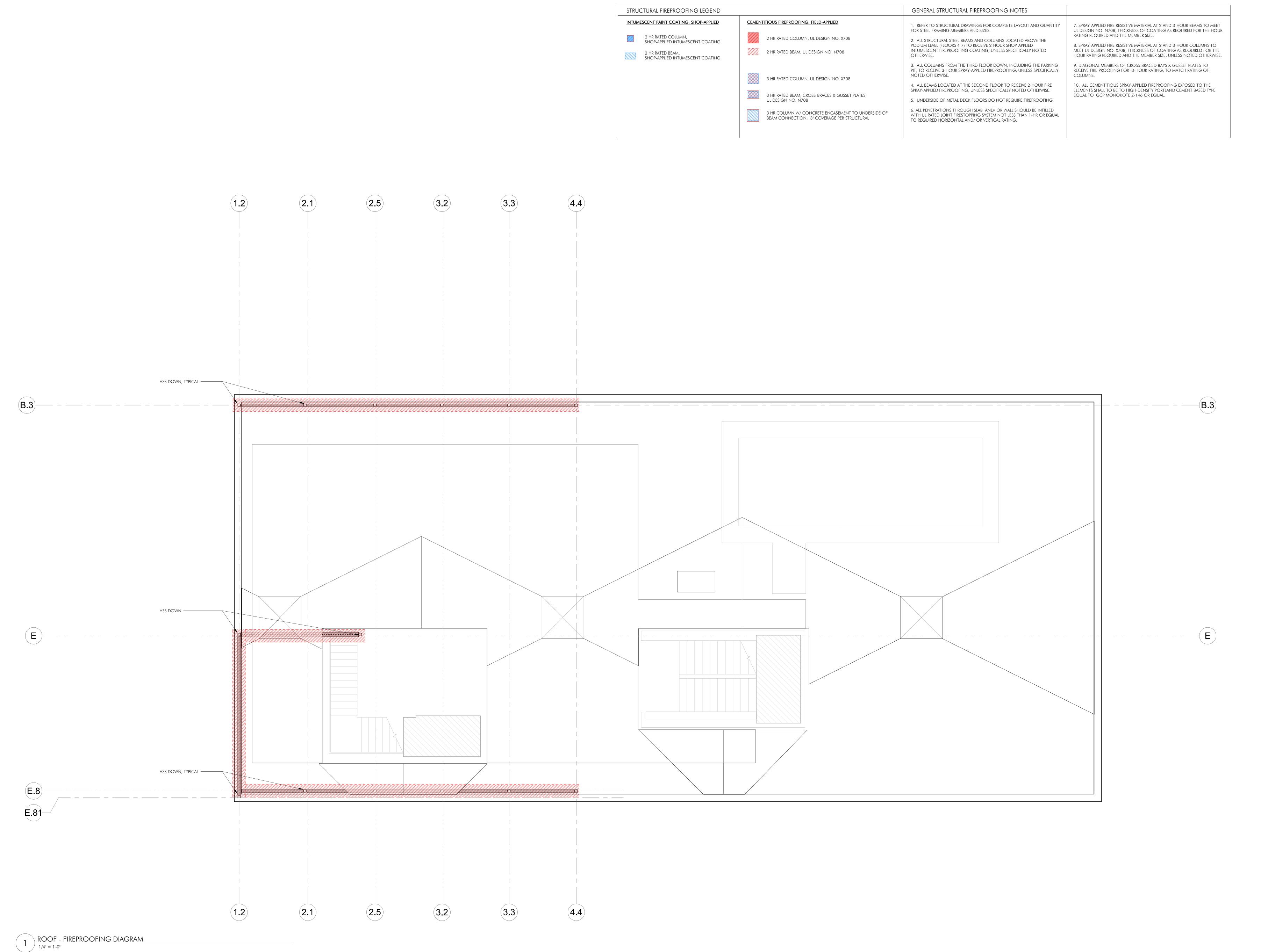
DRAWING TITLE

LEVEL 6
FIREPROOFING

DIAGRAM

DRAWING NUMBER

A001-19



BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

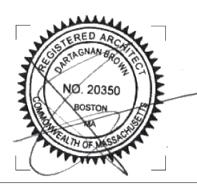
COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE ROOF FIREPROOFING

DIAGRAM

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

OWNER

CONSULTANTS

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

STRUCTURAL

MEP/FP EDE, INC.

REVISIONS



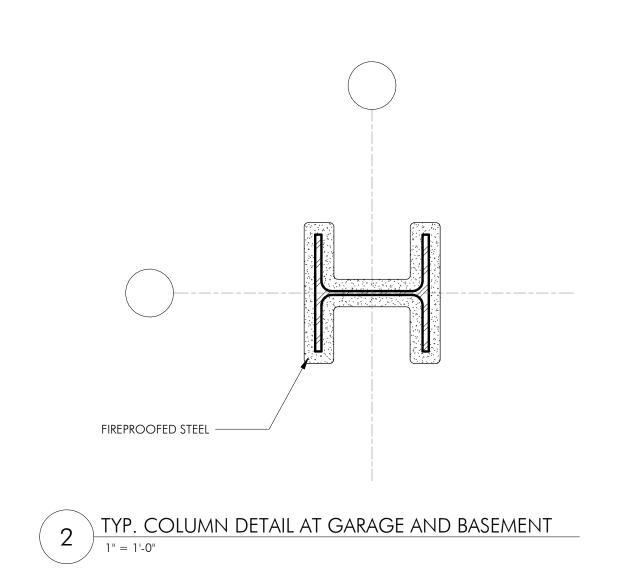
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE TYPICAL FIREPROOFING

DETAILS

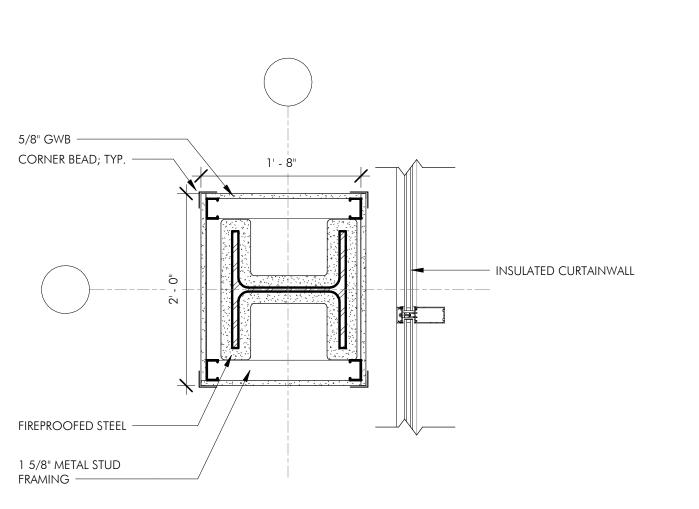
copyright: EMBARC INC.

DRAWING NUMBER



TYP. COLUMN AT GARAGE

1" = 1'-0"



FACE OF CONCRETE WALL BELOW

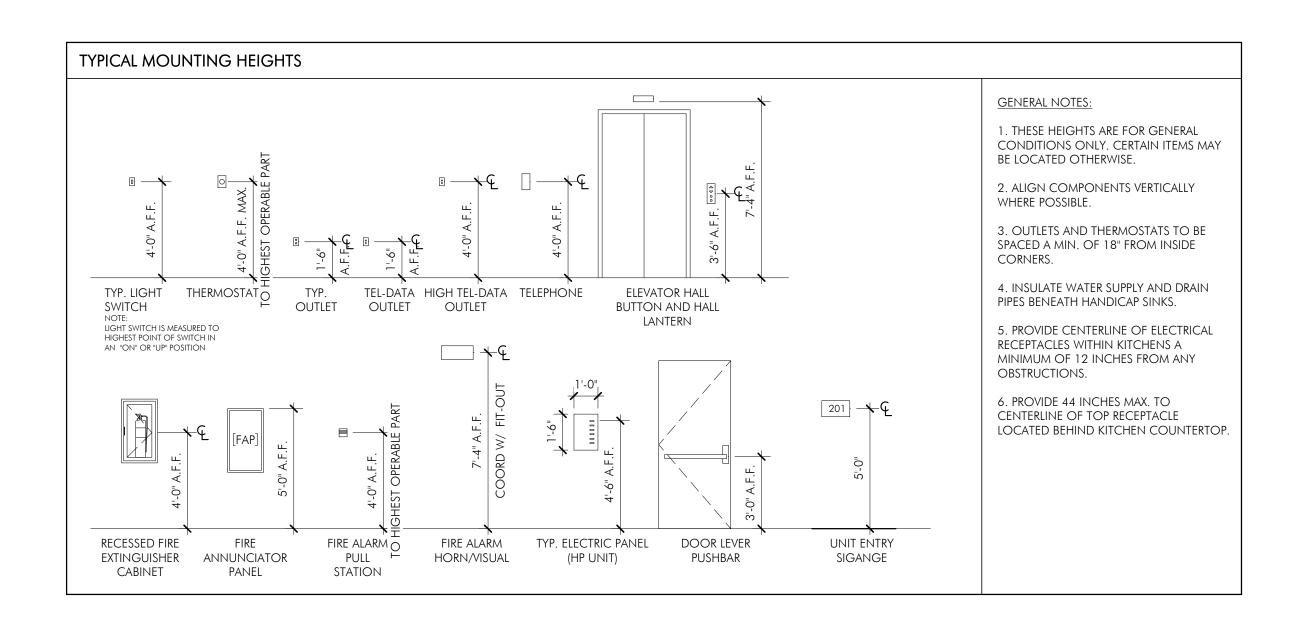
BRICK SHELF ---

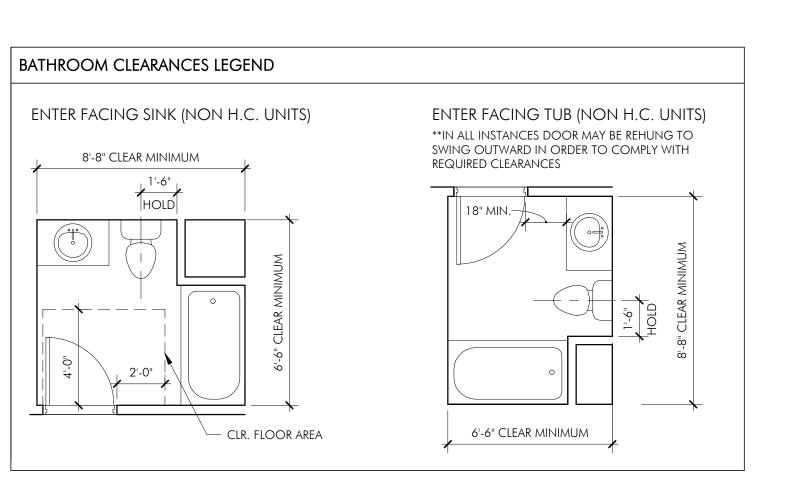
TYP. ENLARGED COLUMN DETAIL AT FIRST FLOOR

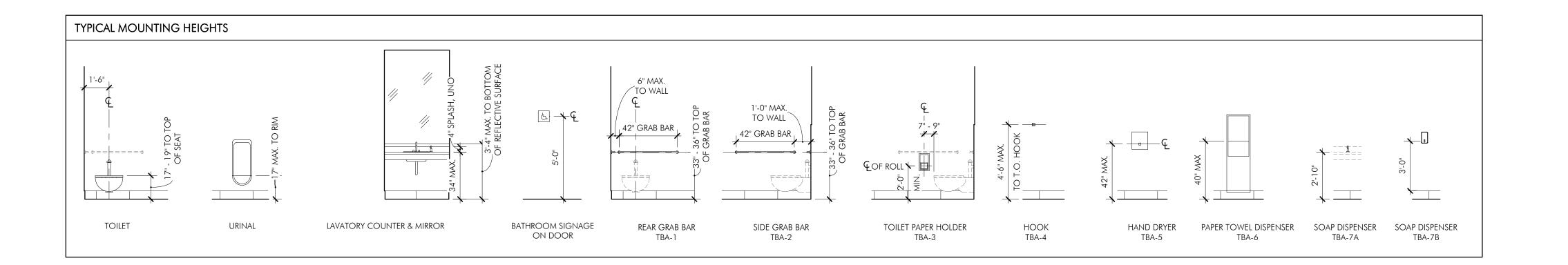
1" = 1'-0"

× 6" ×









#### GENERAL INFORMATION

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- 2. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- Contractor shall coordinate the work of all trades and subcontractors and shall be responsible for any acts, omissions, or ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- Contractor shall assume sole responsibility for Job site conditions including the safety of persons and property for the
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- 7. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK. 11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR
- 12. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR divisions of the work. See specifications and general notes in the individual subsections of contract documents for additional
- 14. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.

CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.

BOSTON, MA 02118

CONSULTANTS

OWNER

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

617-506-1474 STRUCTURAL H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

STREE STON, WA

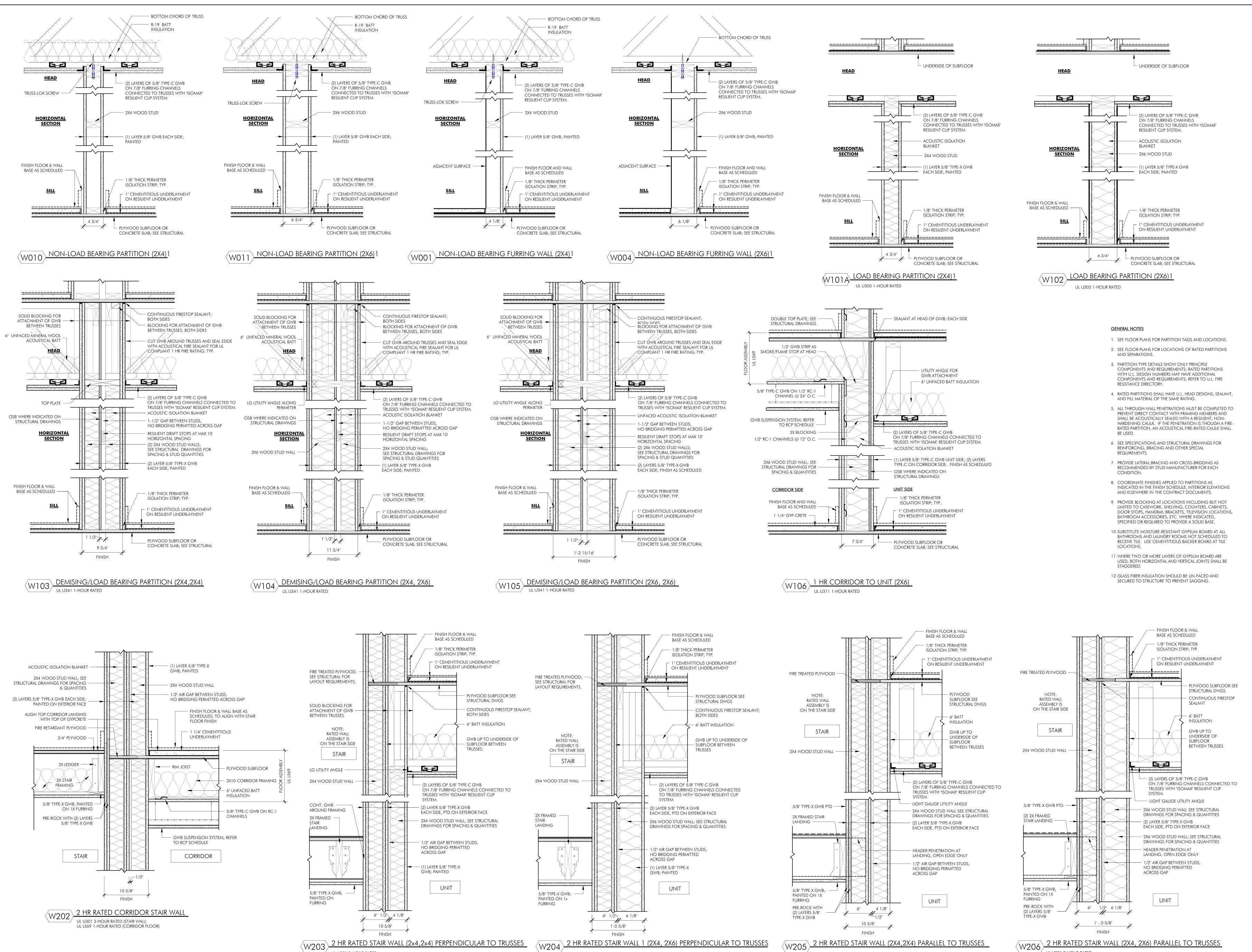


DRAWING INFORMATION

PROJECT #: <u>20020</u>

DRAWING TITLE LEGENDS, ABBREVIATIONS &

GENERAL NOTES DRAWING NUMBER



2 HR RATED STAIR WALL 1 (2X4, 2X6) PERPENDICULAR TO TRUSSES

UL U301 2-HOUR RATED

UL U301 2-HOUR RATED

UL U301 2-HOUR RATED

ARCHITECT **EMBARC** 60 K STREET, 3RD FLOOR BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127 CONSULTANTS

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125 617-506-1474 STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 617-938-3349 MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

TRU

REVISIONS MARK ISSUE DATE

 $\simeq$ 

DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION DATE: 02/07/2022 PROJECT #: 20020

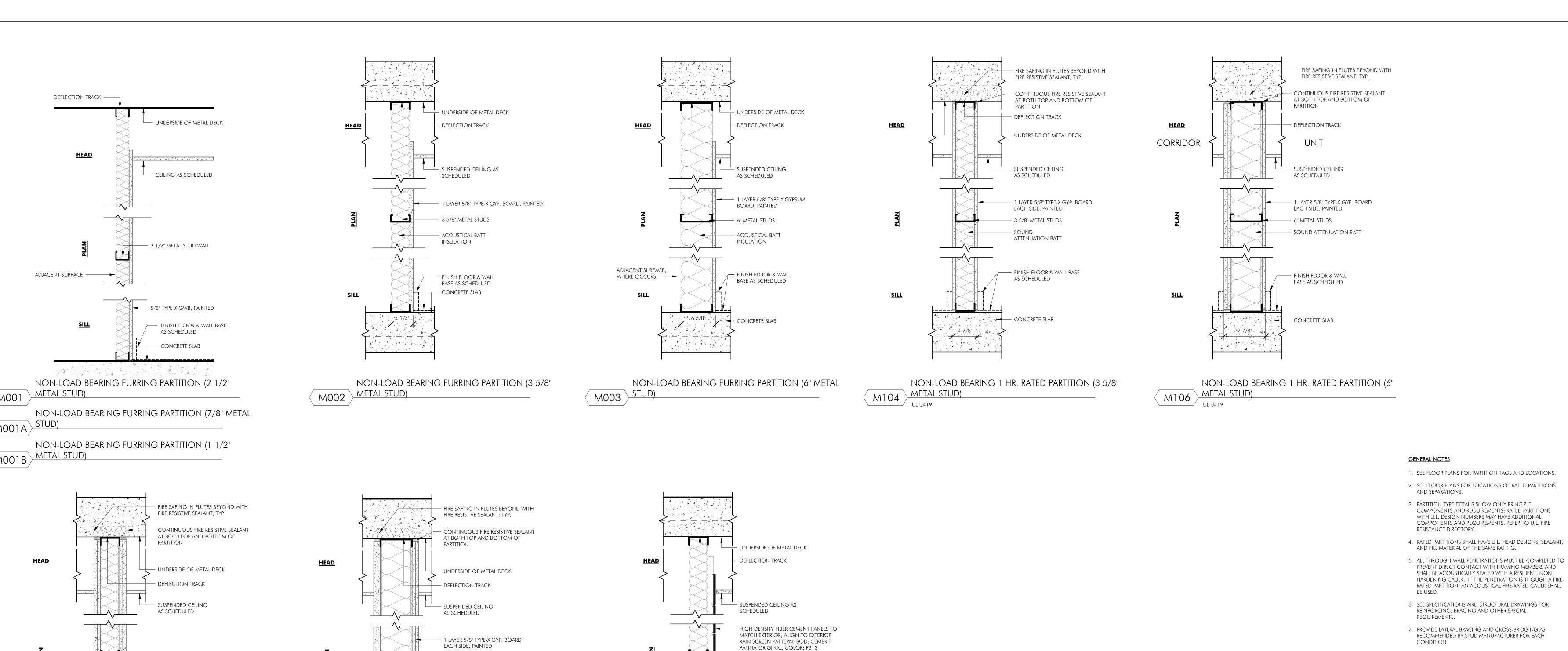
SCALE: As indicated DRAWING TITLE WOOD FRAMED PARTITION TYPES

DRAWING NUMBER

copyright: EMBARC STUDIO, LLC

2 HR RATED STAIR WALL (2X4, 2X6) PARALLEL TO TRUSSES

UL U301 2-HOUR RATED



— 1" FURRING CHANNELS

BATT INSULATION

— FINISH FLOOR AS

— CONCRETE SLAB

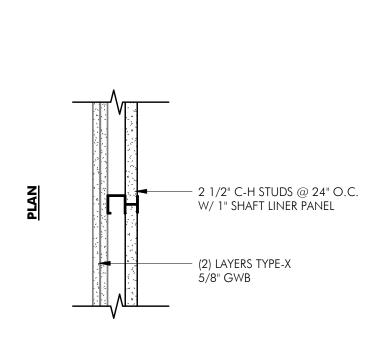
SCHEDULED

444

NON-LOAD BEARING FURRING PARTITION

WOOD-LIKE PANEL (3 5/8" METAL STUD)

— 3 5/8" METAL STUDS W/ ACOUSTICAL





9. PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE. 10. SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS NOT SCHEDULED TO RECEIVE TILE. USE CEMENTITIOUS BACKER BOARD AT TILE LOCATIONS. 11. WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE



TRU

| ARCHITECT

BOSTON, MA 02118

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

CONSULTANTS

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL

617-938-3349

MEP/FP

EDE, INC.

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459

617-446-3114

**GENERAL NOTES** 

BE USED.

REQUIREMENTS.

CONDITION.

AND SEPARATIONS.

resistance directory.

1. SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.

COMPONENTS AND REQUIREMENTS; RATED PARTITIONS

PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND

RATED PARTITION, AN ACOUSTICAL FIRE-RATED CAULK SHALL

SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THOUGH A FIRE-

WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE

3. PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE

AND FILL MATERIAL OF THE SAME RATING.

REINFORCING, BRACING AND OTHER SPECIAL

7. PROVIDE LATERAL BRACING AND CROSS-BRIDGING AS

8. COORDINATE FINISHES APPLIED TO PARTITIONS AS

AND ELSEWHERE IN THE CONTRACT DOCUMENTS.

12. GLASS FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.

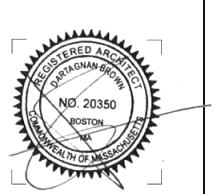
recommended by Stud Manufacturer for each

INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS

O: 617.765.8000 www.embarcdesign.com

OWNER

REVISIONS MARK ISSUE DATE

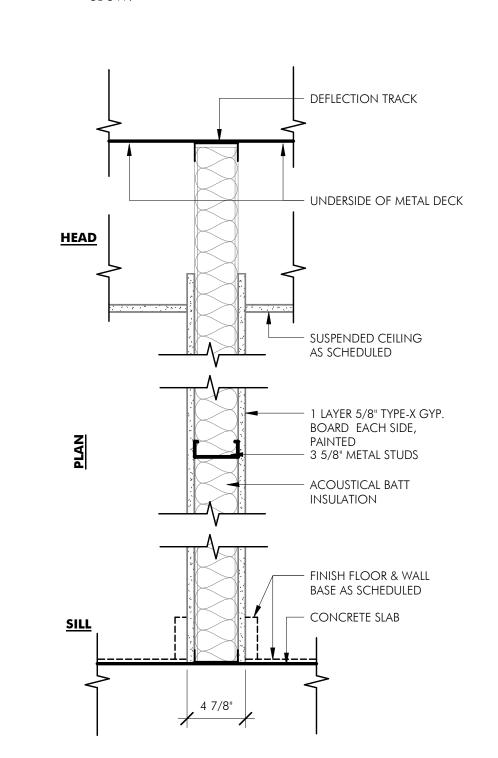


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

PROJECT #: <u>20020</u> DRAWING TITLE

METAL FRAMED PARTITION TYPES

DRAWING NUMBER A004 copyright: EMBARC INC.



<u>SILL</u>

- SOUND ATTENUATION BATT

— FINISH FLOOR & WALL

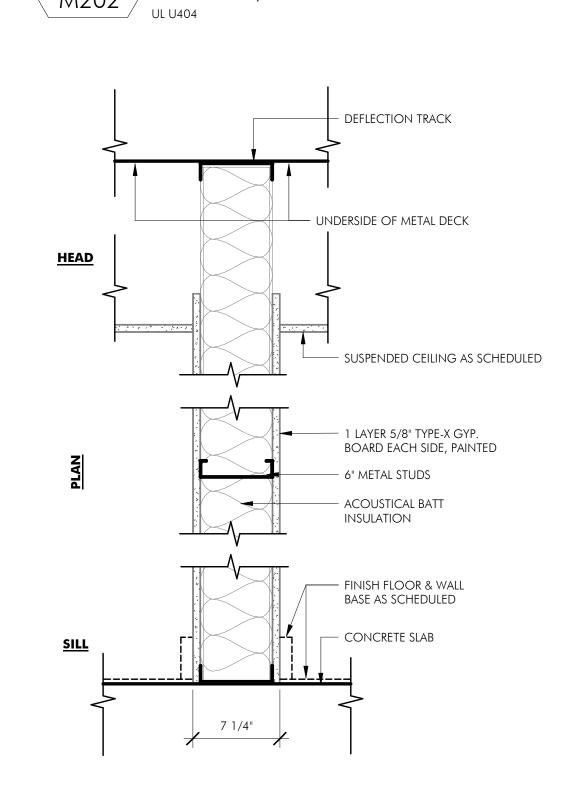
BASE AS SCHEDULED

CONCRETE SLAB

NON-LOAD BEARING 2 HR. RATED PARTITION (4"

·4 7/8" · 🖟 414





471/4". 440

SILL

- 6" METAL STUDS

— FINISH FLOOR & WALL

BASE AS SCHEDULED

— CONCRETE SLAB

NON-LOAD BEARING 2 HR. RATED PARTITION (6"

- SOUND ATTENUATION BATT

M011 NON-LOAD BEARING PARTITION (6" METAL STUD)

2HR CMU ELEVATOR SHAFT WALL (7/8" METAL HAT 2 HR CMU WALL WITH METAL STUD FURRING ON C209 BOTH SIDES (3 5/8" METAL STUD) C210 CHANNEL FURRING)

8" CMU WALL -

HOISTWAY

CONCRETE PER STRUCTURAL - STRUCTURAL DECK; REFER TO STRUCTURAL DRAWINGS FOR DECK TO CMU CONNECTION DETAILS. - 5/8" GYP. TYPE-X BOARD - 7/8" GALV. MTL. HAT CHANNEL @ 24" O.C. (ONE SIDE) HOISTWAY CONCRETE SLAB, PER STRUCTURAL 7 5/8" 1 1/2" 1' - 0" 9 1/8" 1'-1 1/2"

> 2HR 12" CONCRETE ELEVATOR WALL (7/8" METAL HAT CHANNEL FURRING )

2HR 10" CONCRETE ELEVATOR WALL (7/8" METAL HAT CHANNEL FURRING )

PER IBC TABLE 721.1(2): 6" WALL THICKNESS OR GREATER = 3 HOUR

C213 2HR 10" CONCRETE ELEVATOR WALL

1'-0"

- STRUCTURAL DECK; REFER TO

— 5/8" GYP. TYPE-X BOARD

- 7/8" GALV. MTL. HAT CHANNEL

CONCRETE SLAB, PER STRUCTURAL

@ 24" O.C. (ONE SIDE)

STRUCTURAL DRAWINGS FOR DECK

TO CMU CONNECTION DETAILS.

**GENERAL NOTES** 

1. SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS. 2. SEE FLOOR PLANS FOR LOCATIONS OF RATED PARTITIONS BOSTON, MA 02118

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

O: 617.765.8000 www.embarcdesign.com

CONSULTANTS

617-506-1474

DORCHESTER, MA 02125

100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

BOSTON, MA 02210 617-938-3349

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** 

831 BEACON ST. #115

617-446-3114

ENVIENERGY STUDIO

NEWTON CENTRE, MA 02459

MEP/FP

EDE, INC.

OWNER

and separations. 3. PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL

RESISTANCE DIRECTORY.

4. RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEALANT, AND FILL MATERIAL OF THE SAME RATING.

COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE

5. ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THOUGH A FIRErated partition, an acoustical fire-rated caulk shall

6. SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL requirements.

7. PROVIDE LATERAL BRACING AND CROSS-BRIDGING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION.

8. COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.

9. PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.

10. SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS NOT SCHEDULED TO RECEIVE TILE. USE CEMENTITIOUS BACKER BOARD AT TILE LOCATIONS.

11. WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.

12. GLASS FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.

PLYWOOD SUBFLOOR OR CONCRETE DECK, SEE STRUCTURAL STREI STON, A --- SEALANT AT HEAD OF GWB **}-----**— CEILING AS SCHEDULED --- 5/8" GWB TYPE-X PAINTED - WOOD STUD FURRING WALL REVISIONS – MINERAL WOOL BATT INSULATION FINISH FLOOR AND WALL BASE AS SCHEDULED - 1" GYP-CRETE OVER 1/4" ACOUSTIC-MAT II

C202A CMU ELEVATOR WALL PARTITION (2X3 FURRING)
UL U905

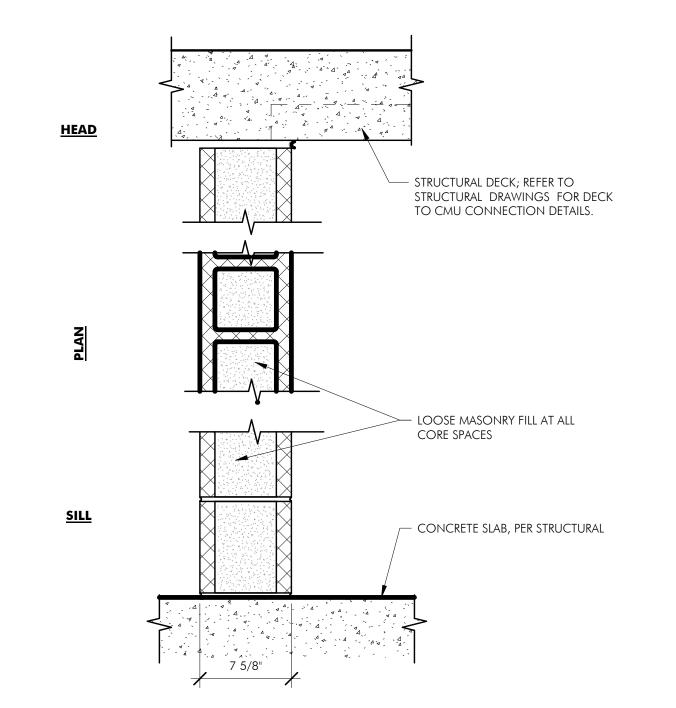
C202B CMU ELEVATOR WALL PARTITION (2x4 FURRING)

**HEAD** 

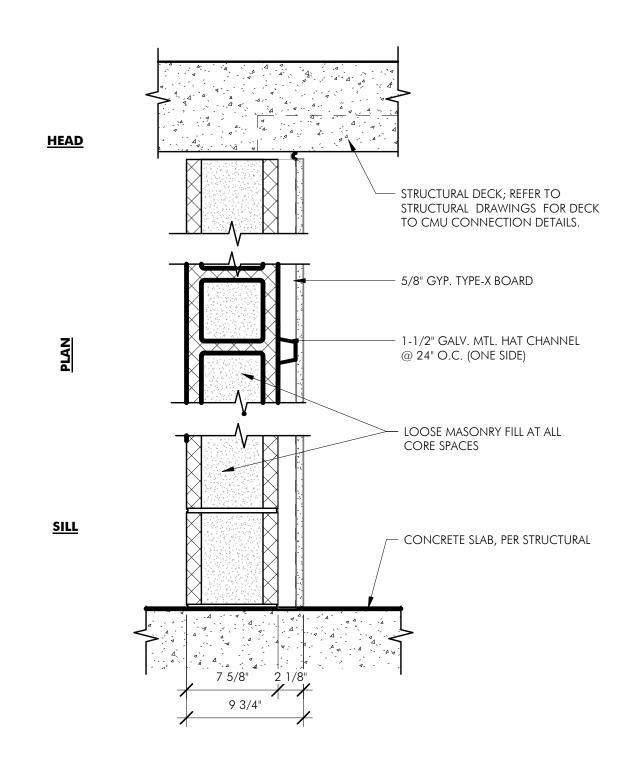
8" CMU WALL —

HOISTWAY

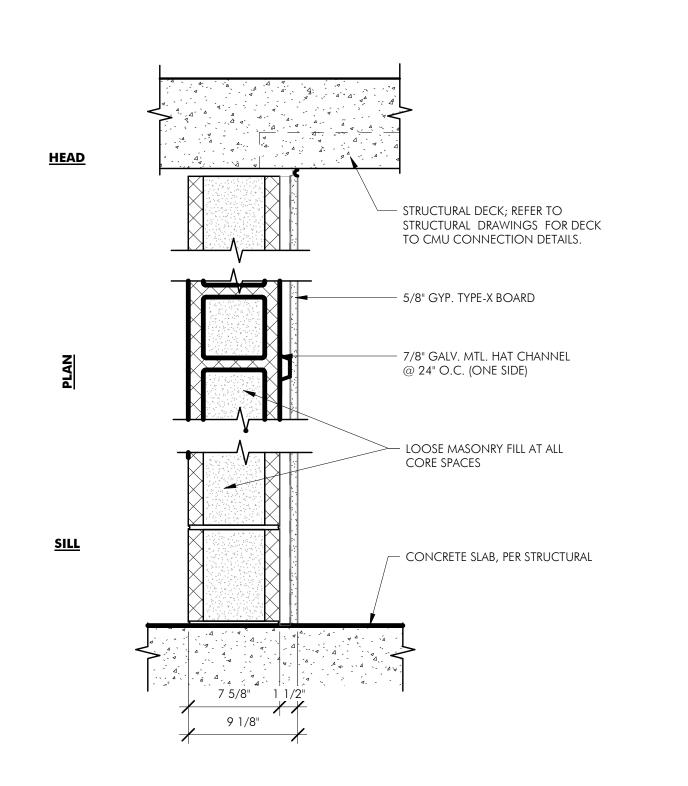
C202C CMU ELEVATOR WALL PARTITION (2X6 FURRING)



C306 3HR CMU WALL
UL U904

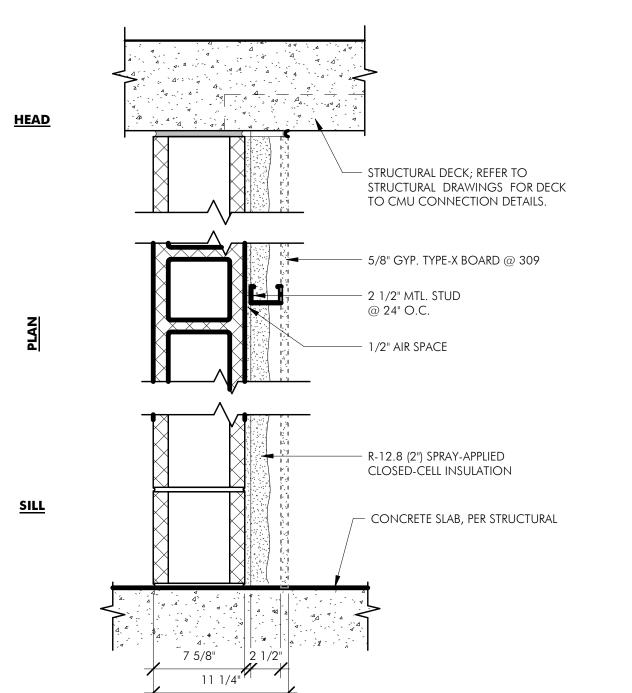








3HR CMU WALL WITH 1-1/2" METAL HAT CHANNEL



3HR INSULATED CMU WALL WITH 2 1/2" METAL STUD C309 FURRING - WITH GWB

3HR INSULATED CMU WALL WITH METAL STUD C309B FURRING - NO GWB

CONCRETE SLAB; SEE STRUCTURAL

DRAWING NUMBER A005

PARTITION TYPES

DRAWING INFORMATION

PROJECT #: <u>20020</u>

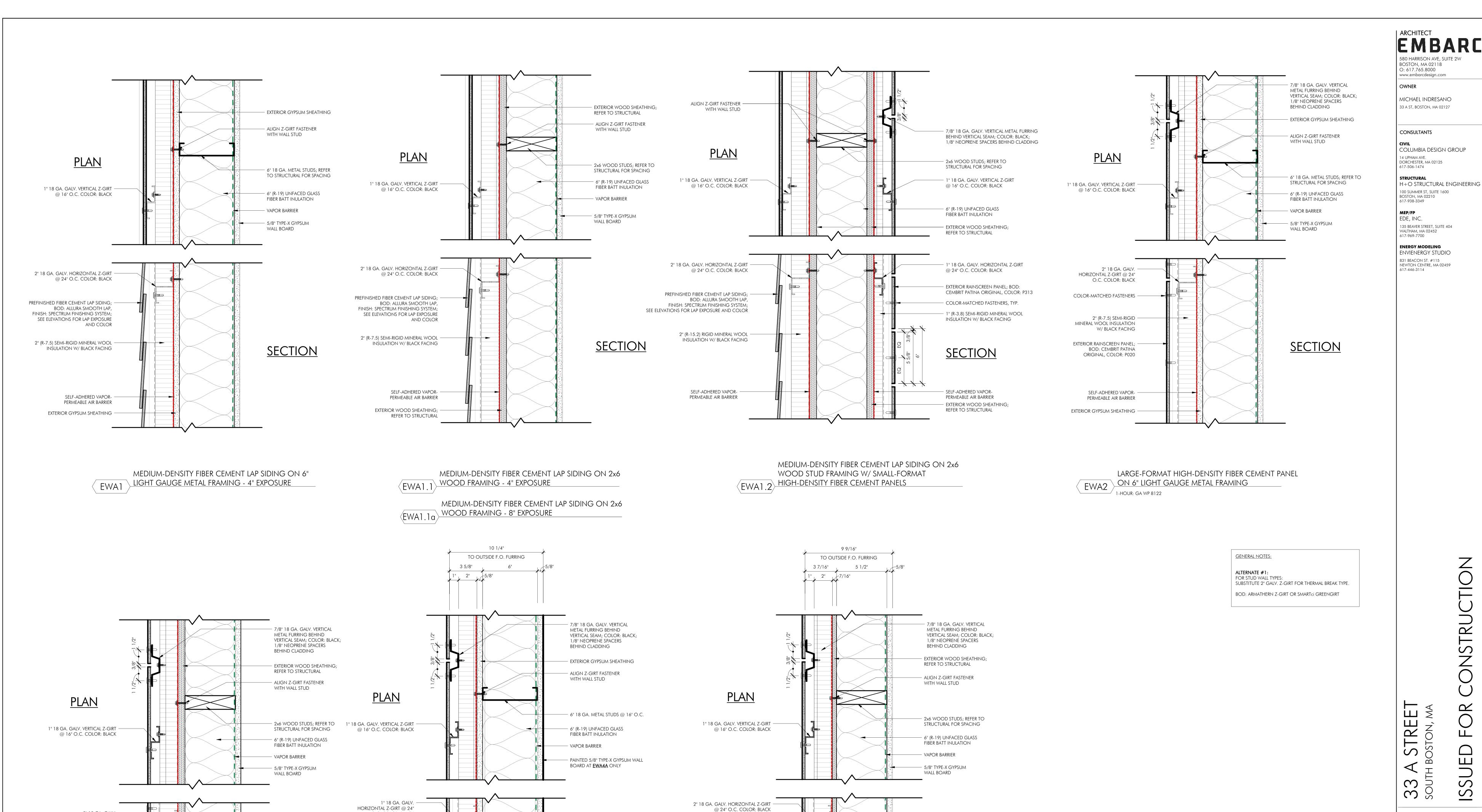
DRAWING TITLE

SCALE: As indicated

MASONRY

ISSUE: ISSUED FOR CONSTRUCTION

NSTRU(



EXTERIOR RAINSCREEN PANEL;

COLOR-MATCHED FASTENERS

MINERAL WOOL INSULATION

**SECTION** 

SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL

SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 6" LIGHT GAUGE METAL FRAMING W/ INTERIOR

ON 6" LIGHT GAUGE METAL FRAMING

1 HR: GA WP 8122

2" (R-7.5) SEMI-RIGID MINERAL WOOL

GYPSUM WALL BOARD

BOD: CEMBRIT PATINA

2" (R-7.5) SEMI-RIGID -

SELF-ADHERED VAPOR-

PERMEABLE AIR BARRIER

REFER TO STRUCTURAL

EXTERIOR WOOD SHEATHING;

W/ BLACK FACING .

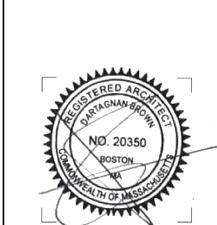
**SECTION** 

SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL

EWA4.1 ON 2x6 WOOD STUD FRAMING

ORIGINAL, COLOR: P313





DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

SCALE: As indicated DRAWING TITLE EXTERIOR WALL ASSEMBLIES

DRAWING NUMBER copyright: EMBARC INC.

2" 18 GA. GALV.

HORIZONTAL Z-GIRT @ 24" O.C. COLOR: BLACK

COLOR-MATCHED FASTENERS -

MINERAL WOOL INSULATION

EXTERIOR RAINSCREEN PANEL; **BOD: CEMBRIT PATINA** ORIGINAL, COLOR: P020

SELF-ADHERED VAPOR-

PERMEABLE AIR BARRIER

EXTERIOR GYPSUM SHEATHING —

2" (R-7.5) SEMI-RIGID

W/ BLACK FACING

O.C. COLOR: BLACK

BOD: CEMBRIT PATINA

2" (R-7.5) SEMI-RIGID —

SELF-ADHERED VAPOR-

PERMEABLE AIR BARRIER

EXTERIOR GYPSUM SHEATHING -

W/ BLACK FACING

+++

ORIGINAL, COLOR: P313

EXTERIOR RAINSCREEN PANEL;

COLOR-MATCHED FASTENERS —

MINERAL WOOL INSULATION

**SECTION** 

LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL

EWA2.1 ON 2x6 WOOD STUD FRAMING

GENERAL NOTES:

ALTERNATE #1: FOR STUD WALL TYPES:

SUBSTITUTE 2" GALV. Z-GIRT FOR THERMAL BREAK TYPE. BOD: ARMATHERN Z-GIRT OR SMARTci GREENGIRT

33 A STREET SOUTH BOSTON, MA

ONSTRUCTION

Щ

ISSUEI

| ARCHITECT

OWNER

BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

CONSULTANTS

14 UPHAM AVE.

STRUCTURAL

617-938-3349

MEP/FP

EDE, INC.

DORCHESTER, MA 02125 617-506-1474

100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

BOSTON, MA 02210

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING ENVIENERGY STUDIO** 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

REVISIONS

MARK ISSUE DATE

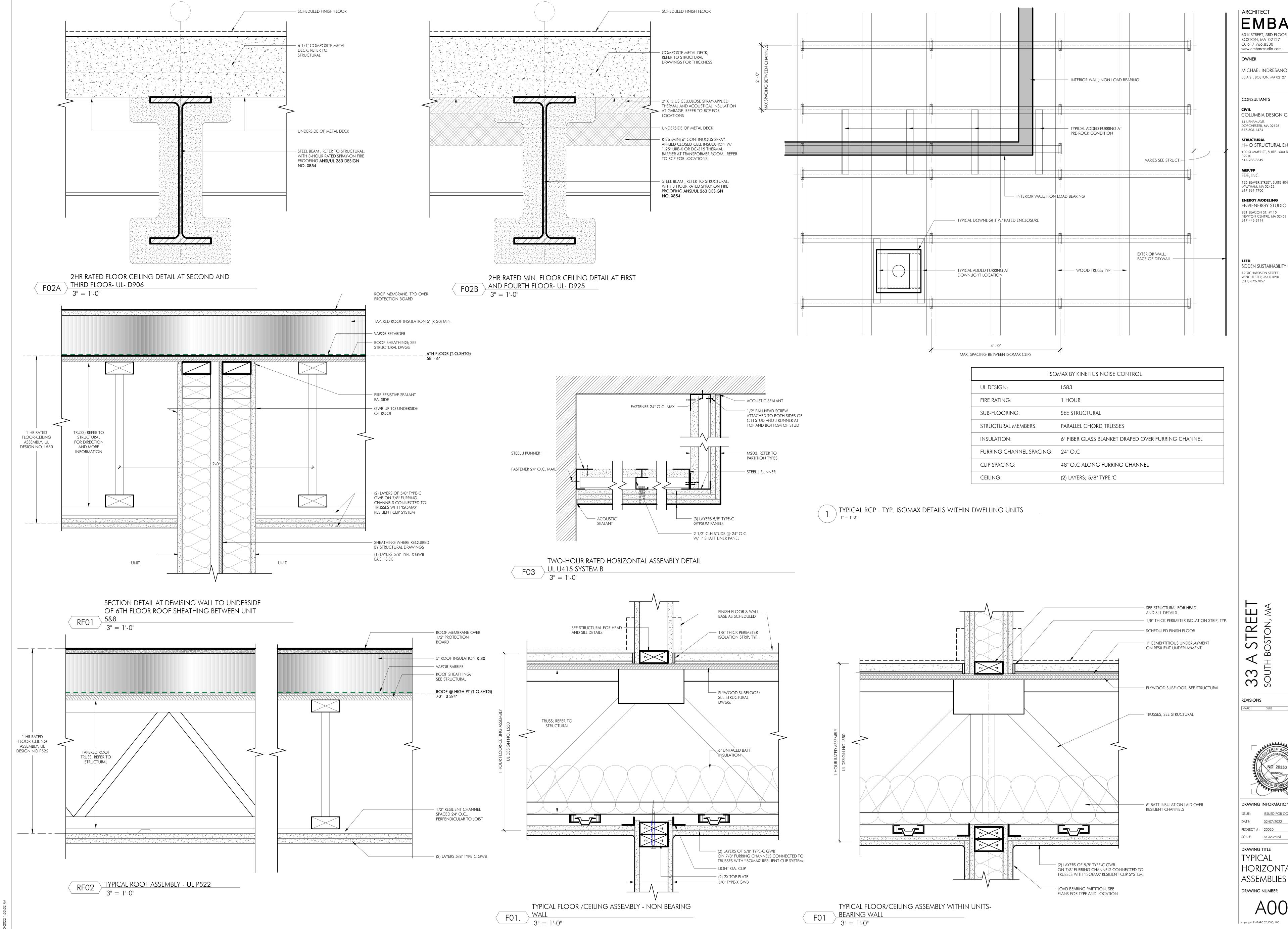


DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE EXTERIOR WALL

ASSEMBLIES DRAWING NUMBER



BOSTON, MA 02127

O: 617.766.8330 www.embarcstudio.com

CONSULTANTS

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA

135 BEAVER STREET, SUITE 404

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115

NEWTON CENTRE, MA 02459

SODEN SUSTAINABILITY CONSULTING 19 RICHARDSON STREET WINCHESTER, MA 01890

ONSTRUC

ISSUEI

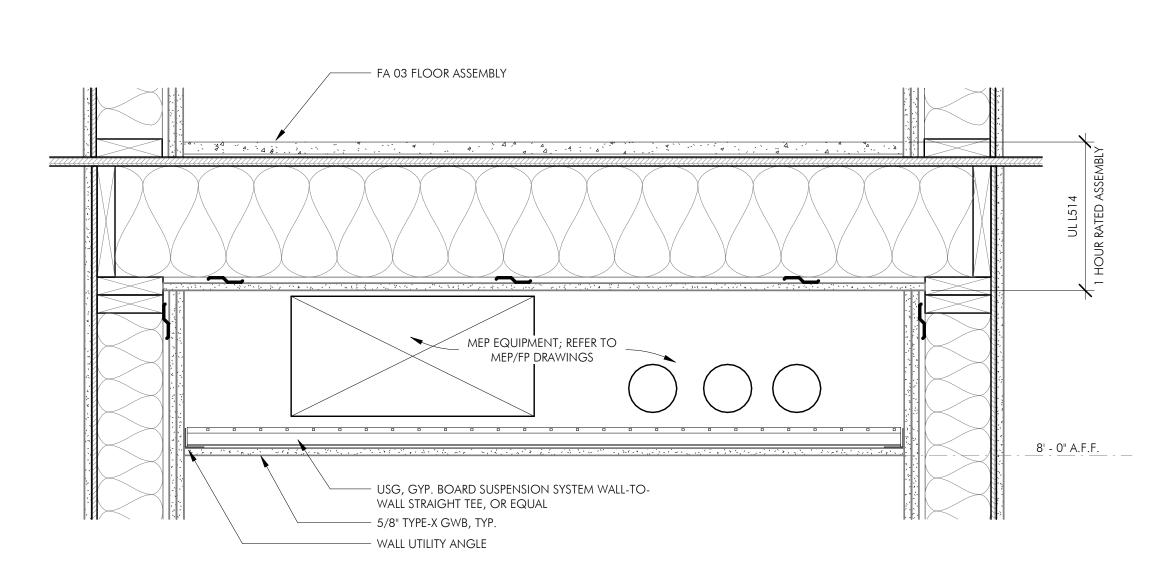


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION DATE: <u>02/07/2022</u> PROJECT #: 20020 SCALE: As indicated

DRAWING TITLE TYPICAL HORIZONTAL

ASSEMBLIES DRAWING NUMBER

copyright: EMBARC STUDIO, LLC



SCHEDULED FINISH FLOORING and wall base — 1/8" THICK PERIMETER ISOLATION STRIP; TYPICAL @ WALL, BOTH SIDES — PARTITION, RE: PLANS FOR TYPE 1 1/4 " GYPSUM CEMENT UNDERLAYMENT —— — 1" GYPSUM CEMENT UNDERLAYMENT ----- 1/4" ACOUSTIC UNDERLAYMENT PLYWOOD SUBFLOOR PER \_\_ STRUCTURAL —— 2x WOOD JOISTS, PER STRUCTURAL — 6" BATT INSULATION, TYP DOUBLE TOP PLATE EXTEND GYP. BOARD TO UNDERSIDE OF SUBFLOOR — Shear Panel, where 1/2" RESILIENT CHANNELS @ 24" O.C., TYP -OCCURS, SEE STRUCTURAL 5/8" TYPE-X GYP. BOARD, TYP — SUSPENSION SYSTEM SUPPORT WALL ANGLE -CORRIDOR SIDE

FA04-1 CORRIDOR FLOOR/CEILING ASSEMBLY

60 K STREET, 3RD FLOOR BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com OWNER MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

| ARCHITECT

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

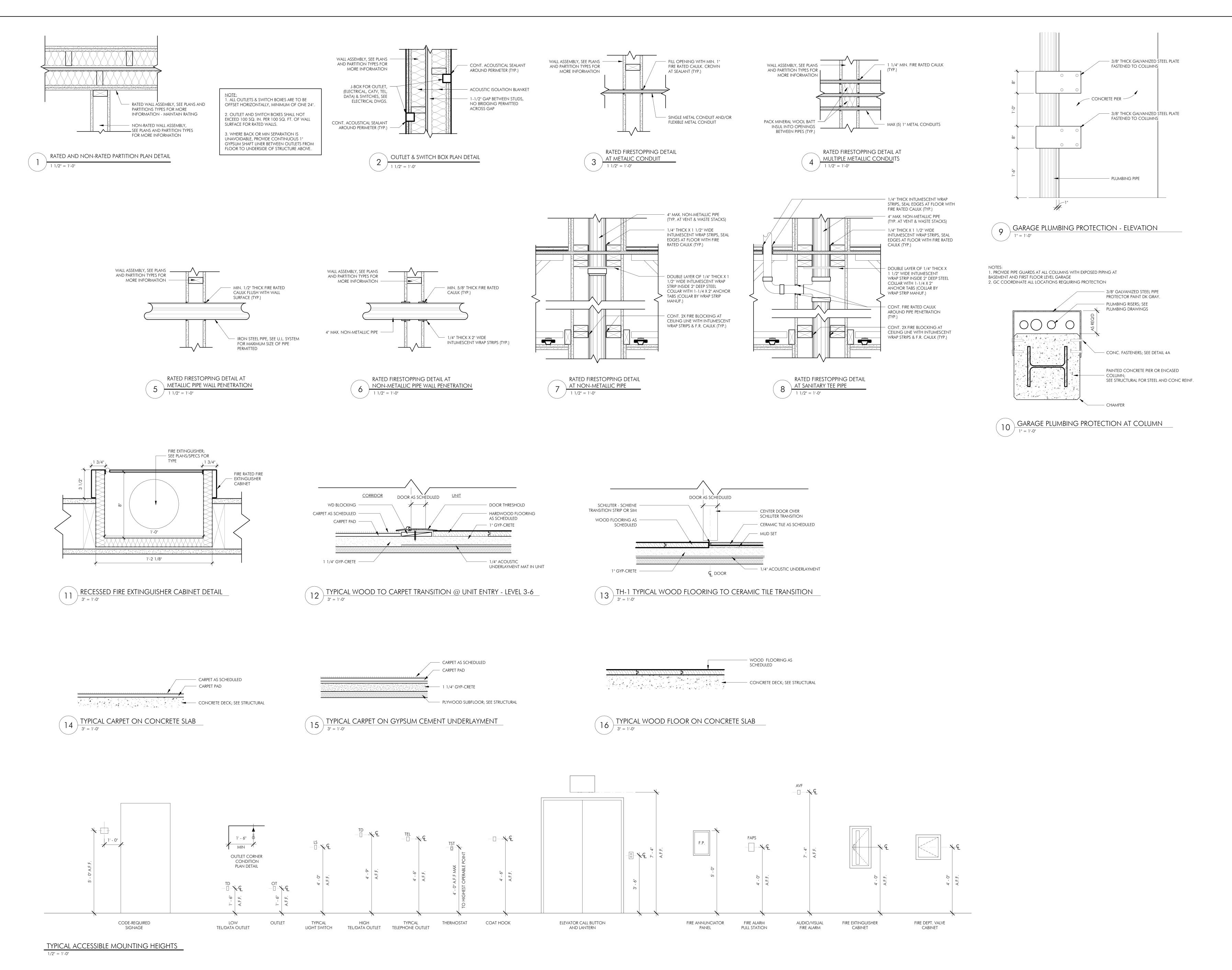
**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u> PROJECT #: 20020

DRAWING TITLE

TYPICAL HORIZONTAL ASSEMBLIES



| ARCHITECT BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING ENVIENERGY STUDIO** 

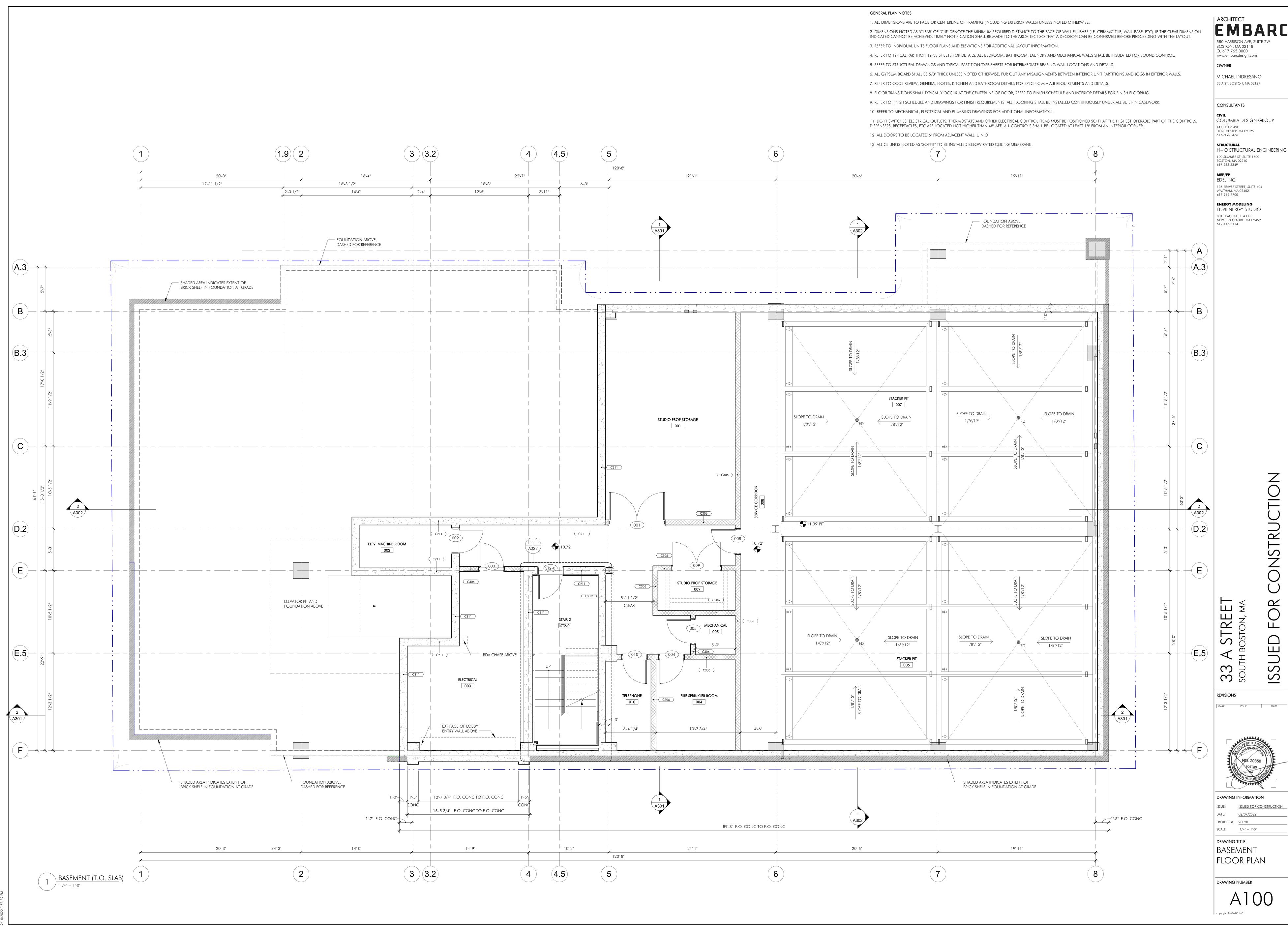
831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

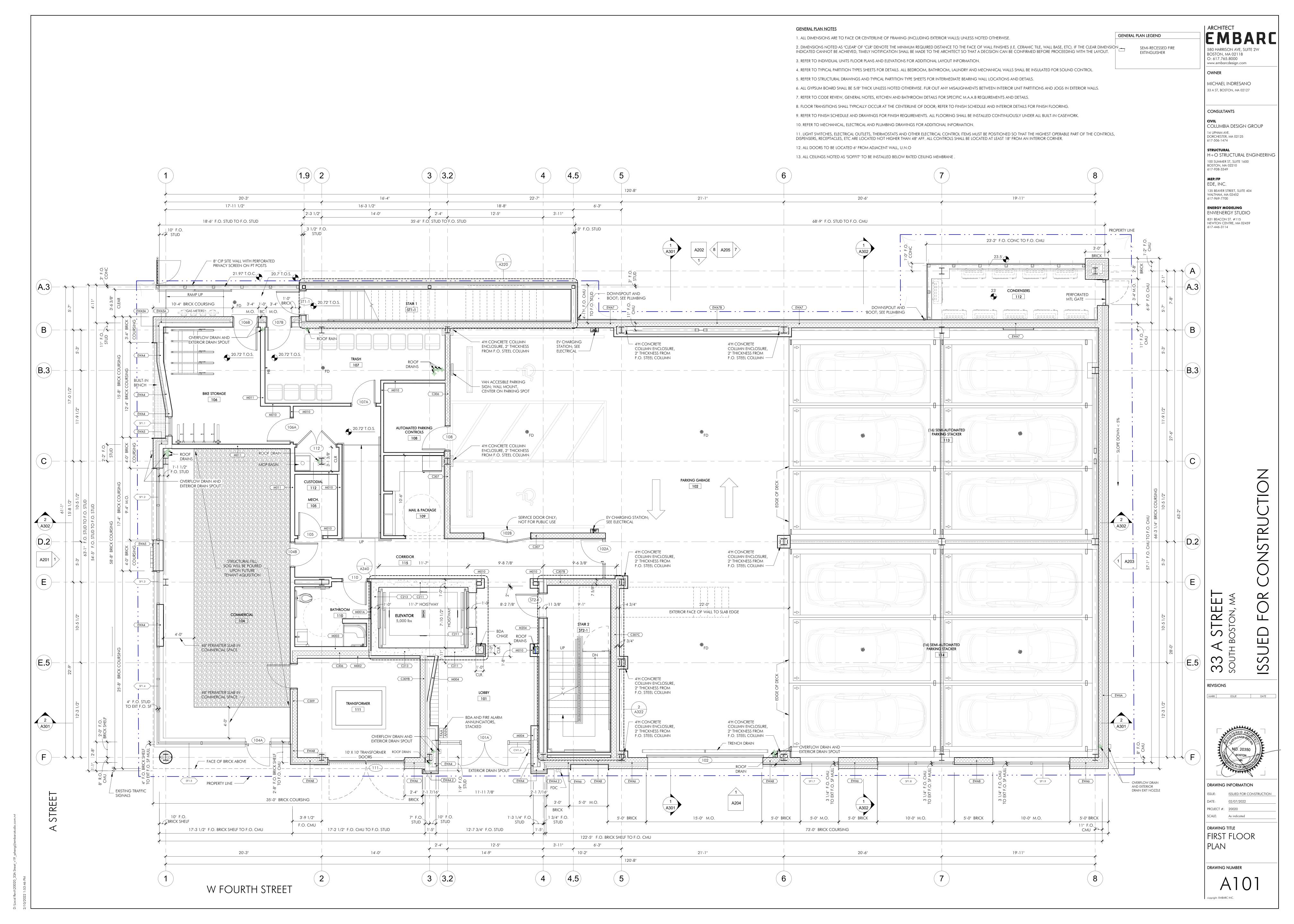
ONSTRUC A STREET BOSTON, MA ISSUEI

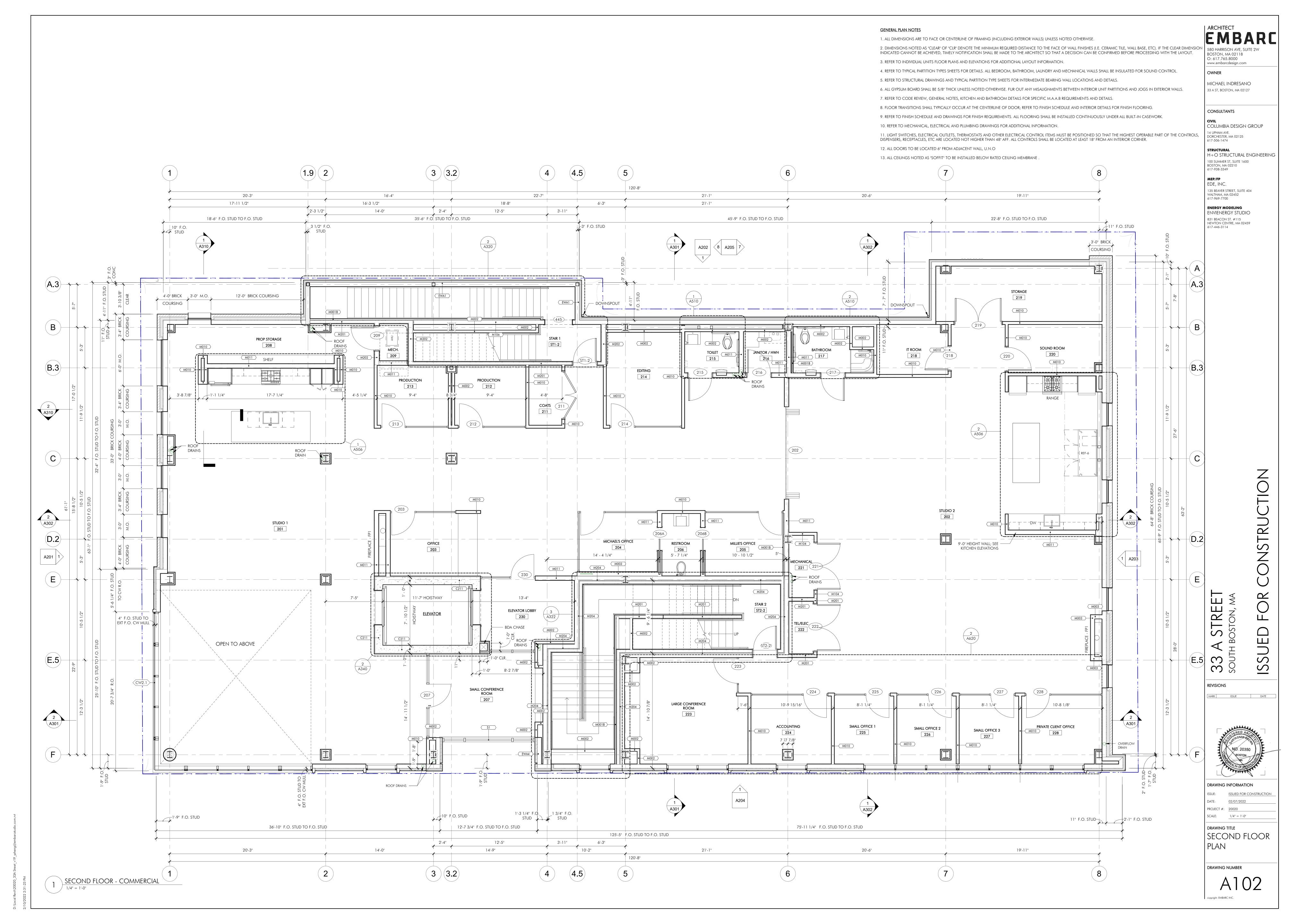
REVISIONS

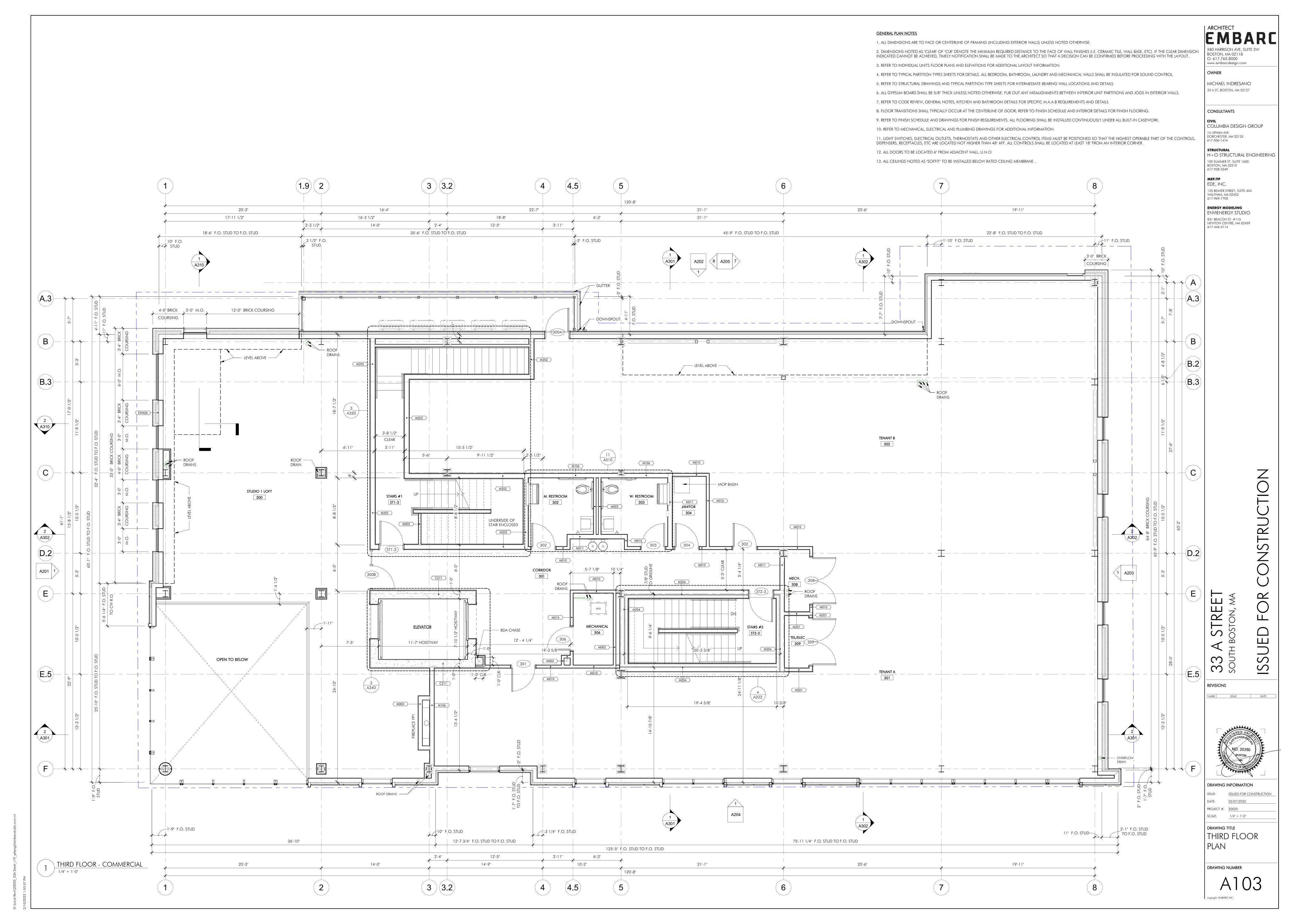
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: <u>20020</u>

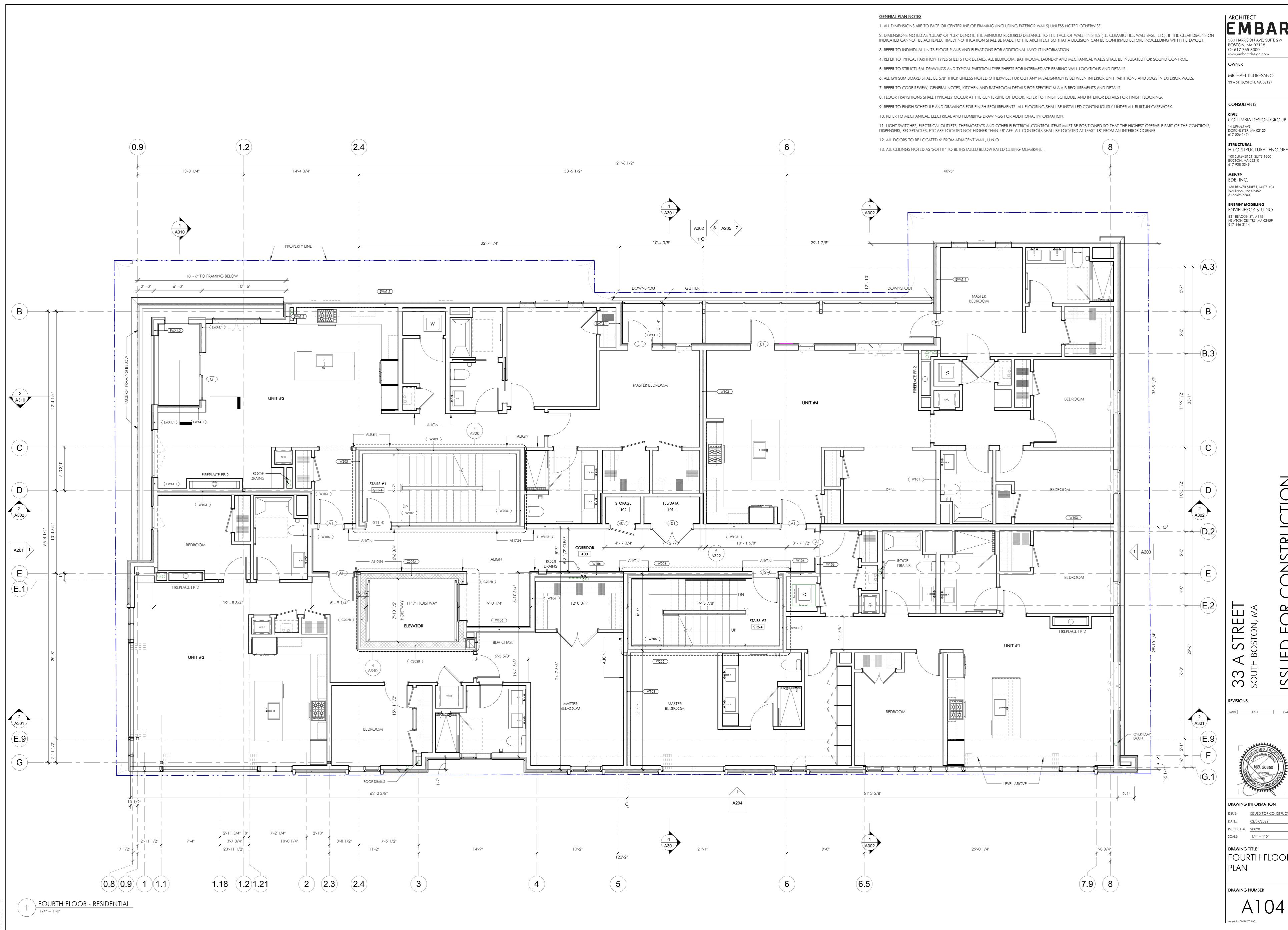
DRAWING TITLE TYPICAL DETAILS











580 HARRISON AVE, SUITE 2W

MICHAEL INDRESANO

H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

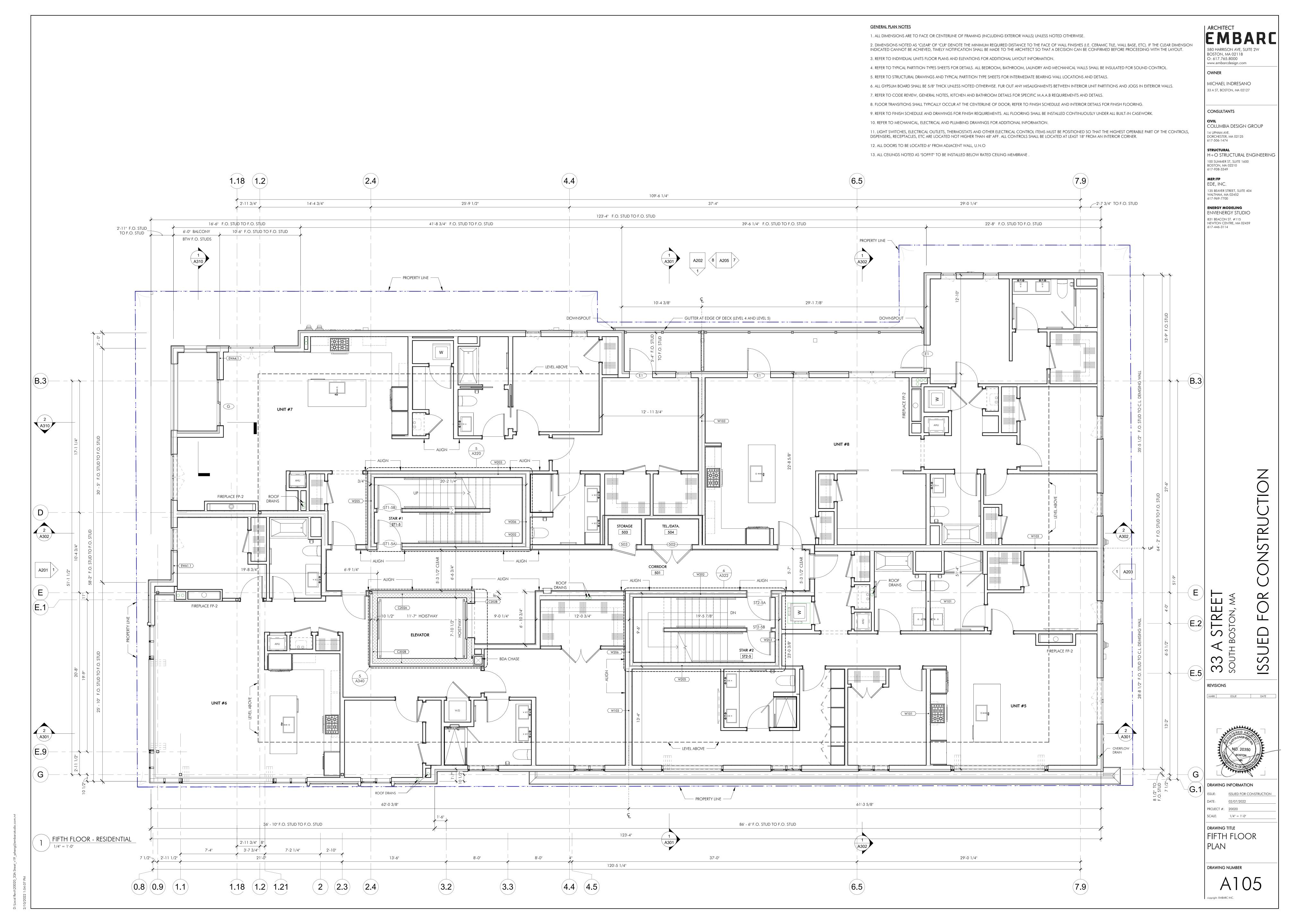
**ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115

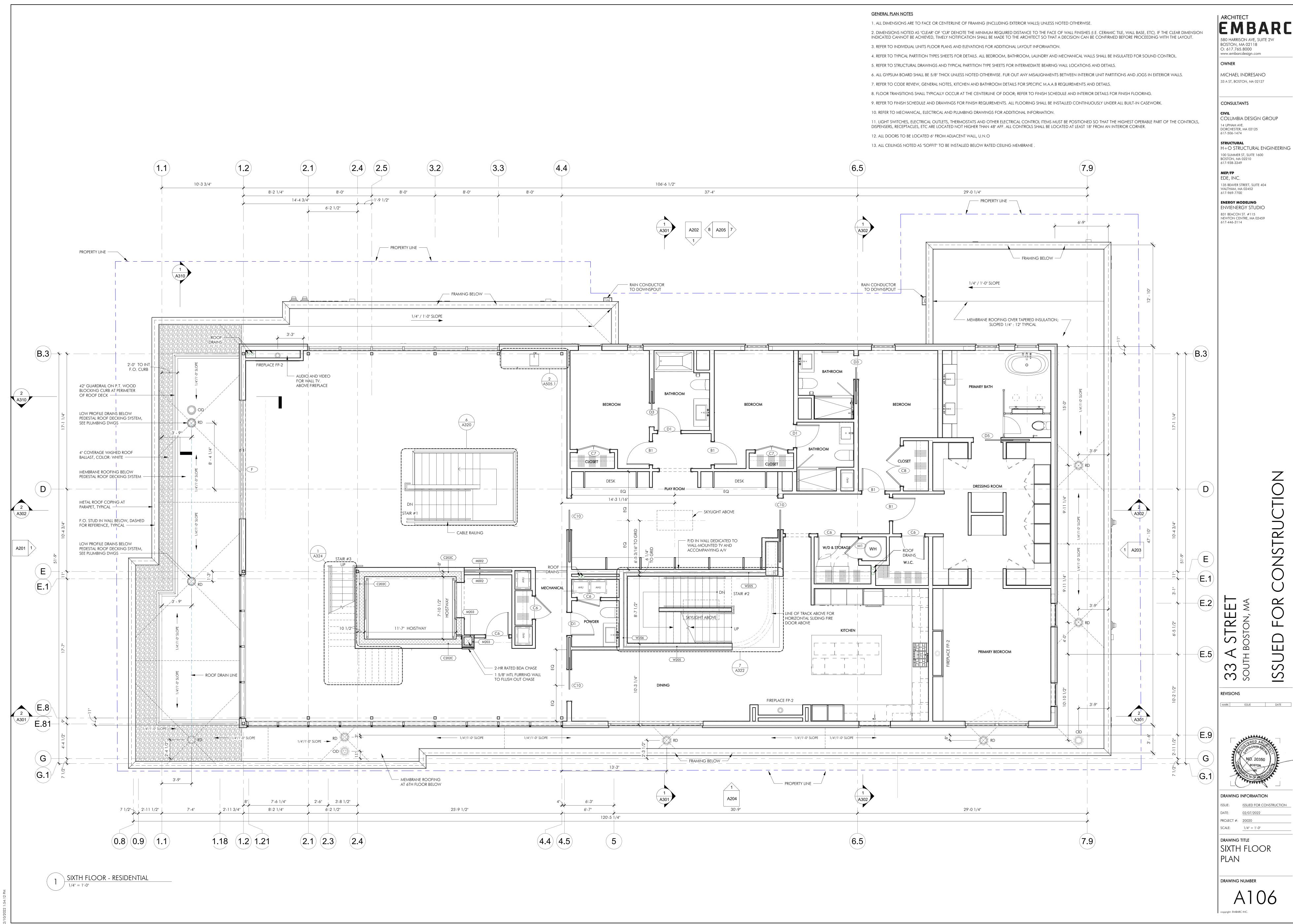
NEWTON CENTRE, MA 02459

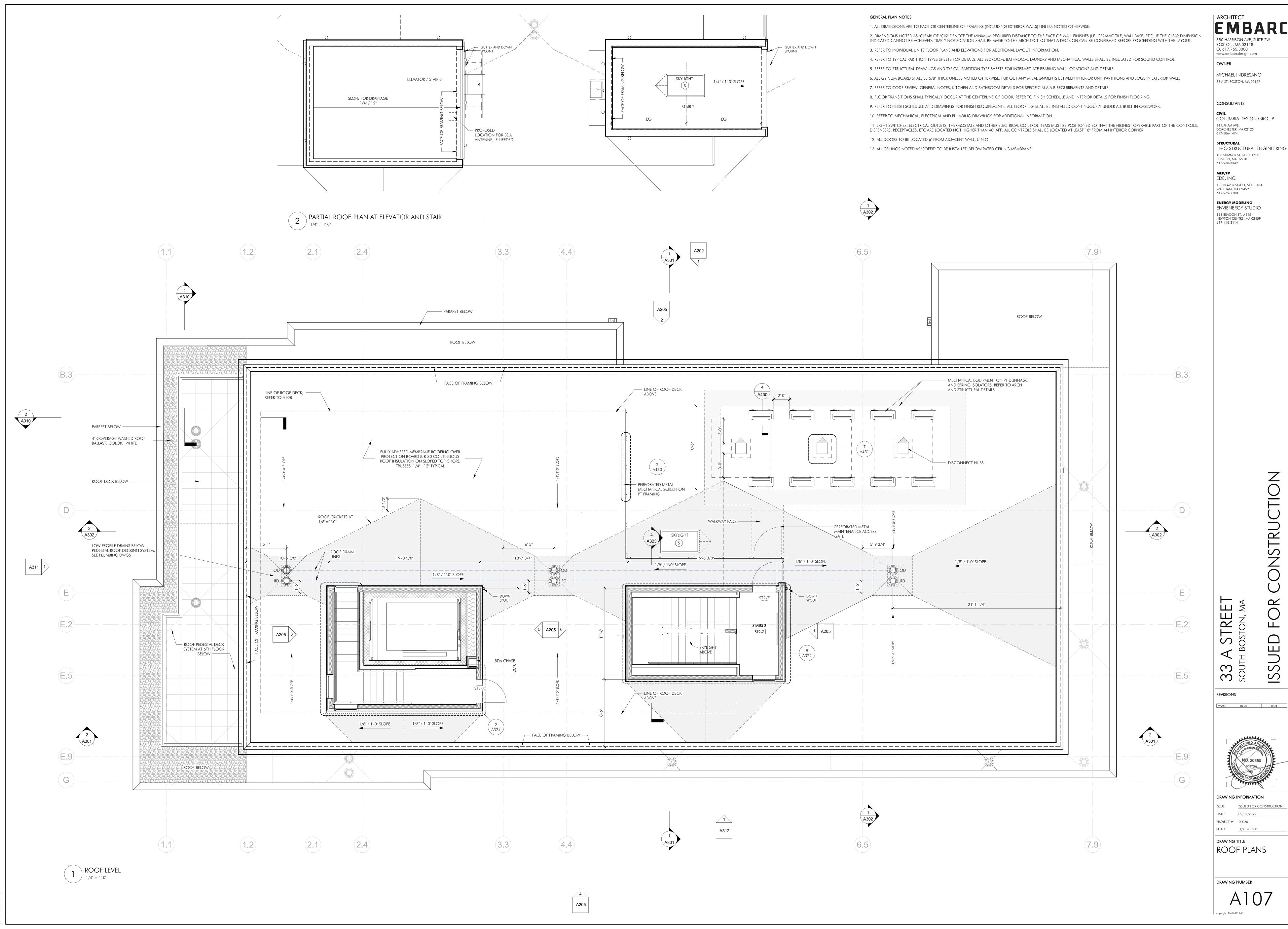
DRAWING INFORMATION

SCALE: 1/4" = 1'-0"

DRAWING TITLE FOURTH FLOOR







OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION ISSUED

33 A STREET SOUTH BOSTON, MA REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u> PROJECT #: 20020

SCALE: 1/4" = 1'-0" DRAWING TITLE ROOF DECK PLAN

DRAWING NUMBER

A310



- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN
  - CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING.

CONTRACTOR TO REVIEW FINAL SCONCE LOCATION WITH

- ARCHITECT AND OWNER PRIOR TO ROUGH WIRING. ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS.
- SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM "DGLW", OR EQUAL.
- SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG
- WALL-TO-WALL SUSPENSION SYSTEM "DGW", OR EQUAL. ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED.
- ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE. RE: ELECTRICAL FOR FIXTURE SPECIFICATIONS. ALL LIGHT FIXTURE PENETRATIONS AT FLOOR/CEILING ASSEMBLIES NEED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

| ARCHITECT BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115

NEWTON CENTRE, MA 02459 617-446-3114

MARK ISSUE DATE

REVISIONS

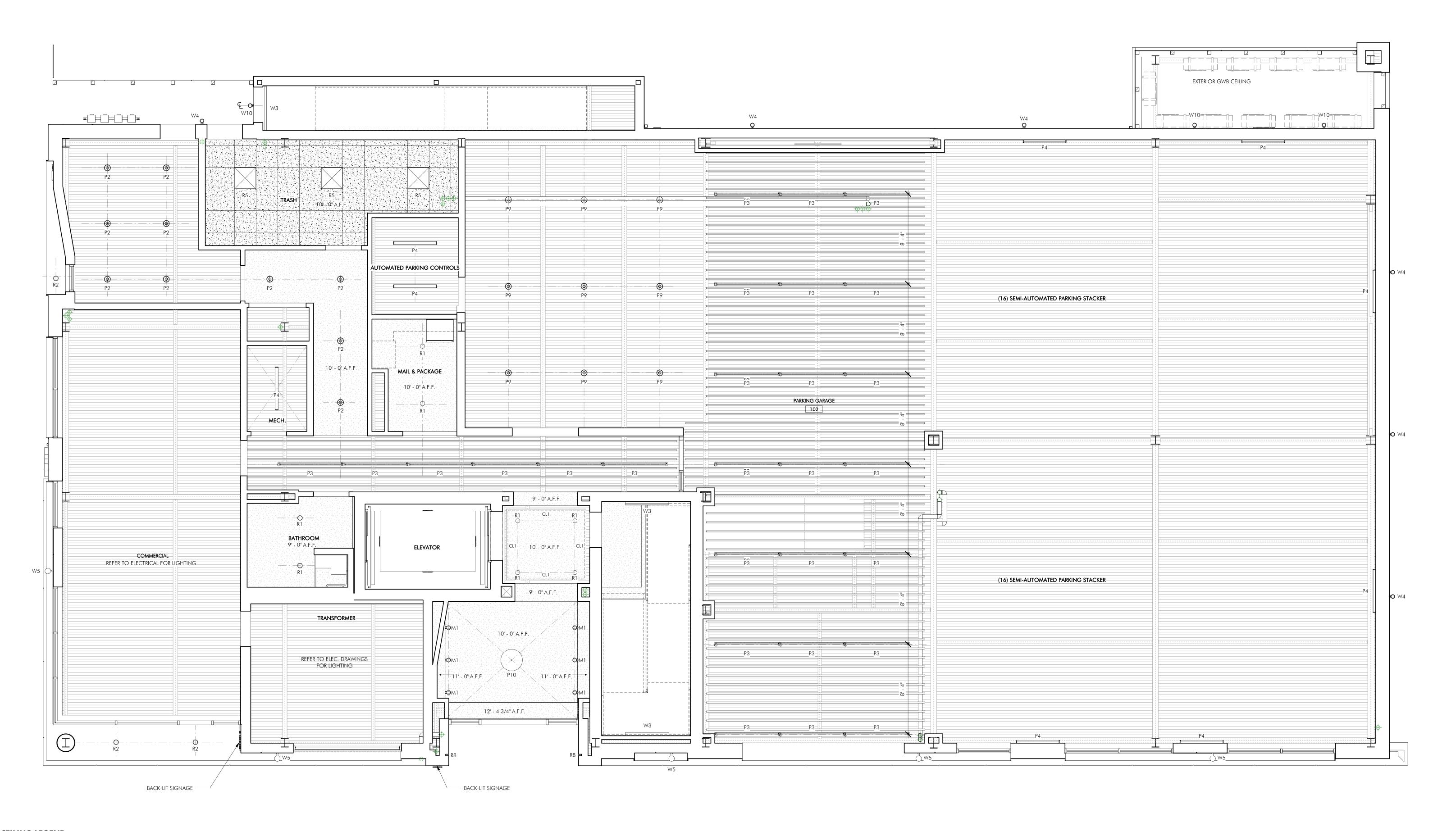
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

DATE: <u>02/07/2022</u> PROJECT #: 20020 SCALE: 1/4'' = 1'-0''

DRAWING TITLE FIRST FLOOR REFLECTED

CEILING PLAN DRAWING NUMBER

copyright: EMBARC INC.





W1 UNIT ENTRY SCONCE W2 24" WALL MOUNTED STRIP LIGHT R2 EXTERIOR RECESSED LIGHT W3 4' WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 8' ABOVE STAIR LANDING ———— W4 EXTERIOR WALL SCONCE SINGLE LIGHT

R3 PUCK LIGHT (PENTHOUSE) R4 2" PIN LIGHT **R5** 2X2 RECESSED LIGHT ———— W5 EXTERIOR WALL SCONCE DOUBLE LIGHT

**W6** WALL SCONCE R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY

R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR W8 CLOSET LIGHT **W9** WALL SCONCE M1 MONOPOINT LIGHT ———— W10 WALL SCONCE W. EMERGENCY BATTRY

W7 EXTERIOR WALL SCONCE

P1 KITCHEN PENDANT - (IN UNIT)

P2 GENERAL LIGHTING PENDANT P3 6' SUSPENDED DIRECT/INDIRECT LIGHT P4 4' SURFACE MOUNTED LINEAR LIGHT P5 DECORATIVE PENDANT (LOBBY)

P8 COMMERCIAL KITCHEN PENDANT

P9 PARKING LIGHT PENDANT

P10 DECORATIVE PENDANT (LOBBY)

P6 DECORATIVE PENDANT P7 KITCHEN PENDANT (PENTHOUSE)

\$4 LED SURFACE MOUNT FIXTURE (PENTHOUSE) \$5 LED SURFACE MOUNT FIXTURE (PENTHOUSE) - — — — CL1 LED TAPE LIGHT UC UNDER CABINET LIGHT MR1 MIRROR LIGHTS

P11 KITCHEN PENDANT ( COMMERCIAL KITCHEN)

**EF 2** BATHROOM EXHAUST FAN (PENTHOUSE)

\$1 LED SURFACE MOUNT FIXTURE (IN UNIT)

\$2 LED SURFACE MOUNT FIXTURE (IN UNIT) \$3 8" SURFACE MOUNTED ACCENT LIGHT

P6 8' SUSPENDED LINEAR LIGHT

MR3 ELECTRIC MIRROR

MR4 ELECTRIC MIRROR

WASHABLE MYLAR 2X2 ACOUSTIC CEILING TILE

FLOOR/CEILING ASSEMBLY

GYPSUM BOARD CEILING AT UNDERSIDE OF

EXPOSED METAL DECK, PTD.

2X4 ACOUSTIC CEILING TILE 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY EXPOSED WOOD DECK BORAD

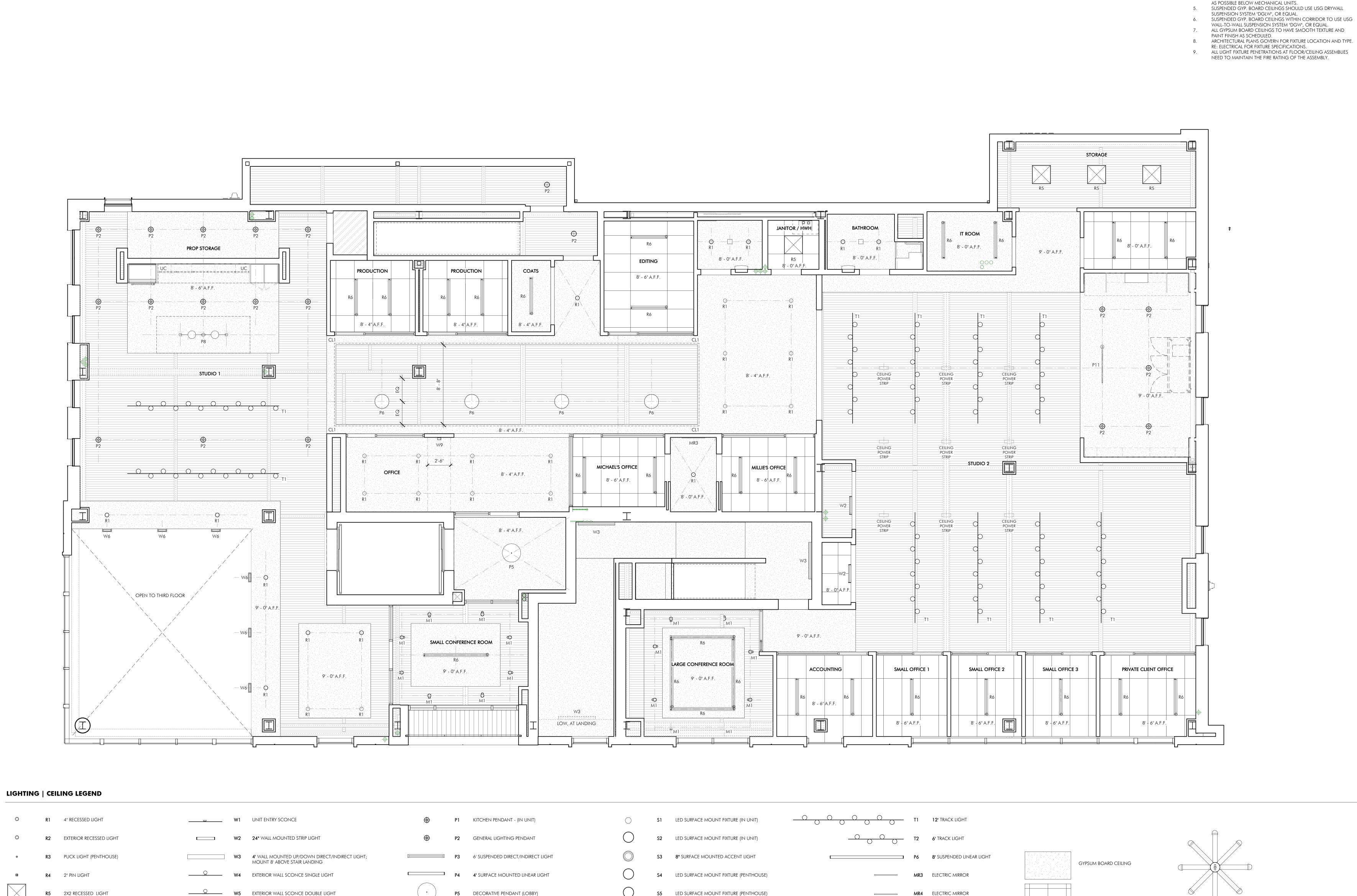
GYPSUM BOARD CEILING

2X2 ACOUSTIC CEILING TILE

BARRIER. COLOR: LT. GRAY

2-HOUR RATED CEILING ASSEMBLY R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/

1.25" URE-K OR DC-315 THERMAL



---- CL1 LED TAPE LIGHT

uc under cabinet light

MR1 MIRROR LIGHTS

P11 KITCHEN PENDANT ( COMMERCIAL KITCHEN)

**EF 2** BATHROOM EXHAUST FAN (PENTHOUSE)

P6 DECORATIVE PENDANT

P7 KITCHEN PENDANT (PENTHOUSE)

PARKING LIGHT PENDANT

P10 DECORATIVE PENDANT (LOBBY)

COMMERCIAL KITCHEN PENDANT

| ARCHITECT REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH

SHEET NOTES

ARCHITECT PRIOR TO ROUGH WIRING.

CONTRACTOR TO REVIEW FINAL SCONCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.

ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH

BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com OWNER MICHAEL INDRESANO

CONSULTANTS

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

33 A STREET SOUTH BOSTON, MA REVISIONS MARK ISSUE DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION DATE: 02/07/2022

PROJECT #: <u>20020</u>

2-HOUR RATED CEILING ASSEMBLY

R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/

1.25" URE-K OR DC-315 THERMAL BARRIER. COLOR: LT. GRAY

2X2 ACOUSTIC CEILING TILE

2X4 ACOUSTIC CEILING TILE

COLOR: LT GRAY

2" K13 US CELLULOSE SPRAY-APPLIED

EXPOSED WOOD DECK BORAD

THERMAL AND ACOUSTICAL INSULATION

WASHABLE MYLAR 2X2 ACOUSTIC CEILING TILE

FLOOR/CEILING ASSEMBLY

EXPOSED METAL DECK, PTD.

GYPSUM BOARD CEILING AT UNDERSIDE OF

SCALE: 1/4'' = 1'-0''DRAWING TITLE SECOND FLOOR

REFLECTED CEILING PLAN

DRAWING NUMBER

copyright: EMBARC INC.

R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY

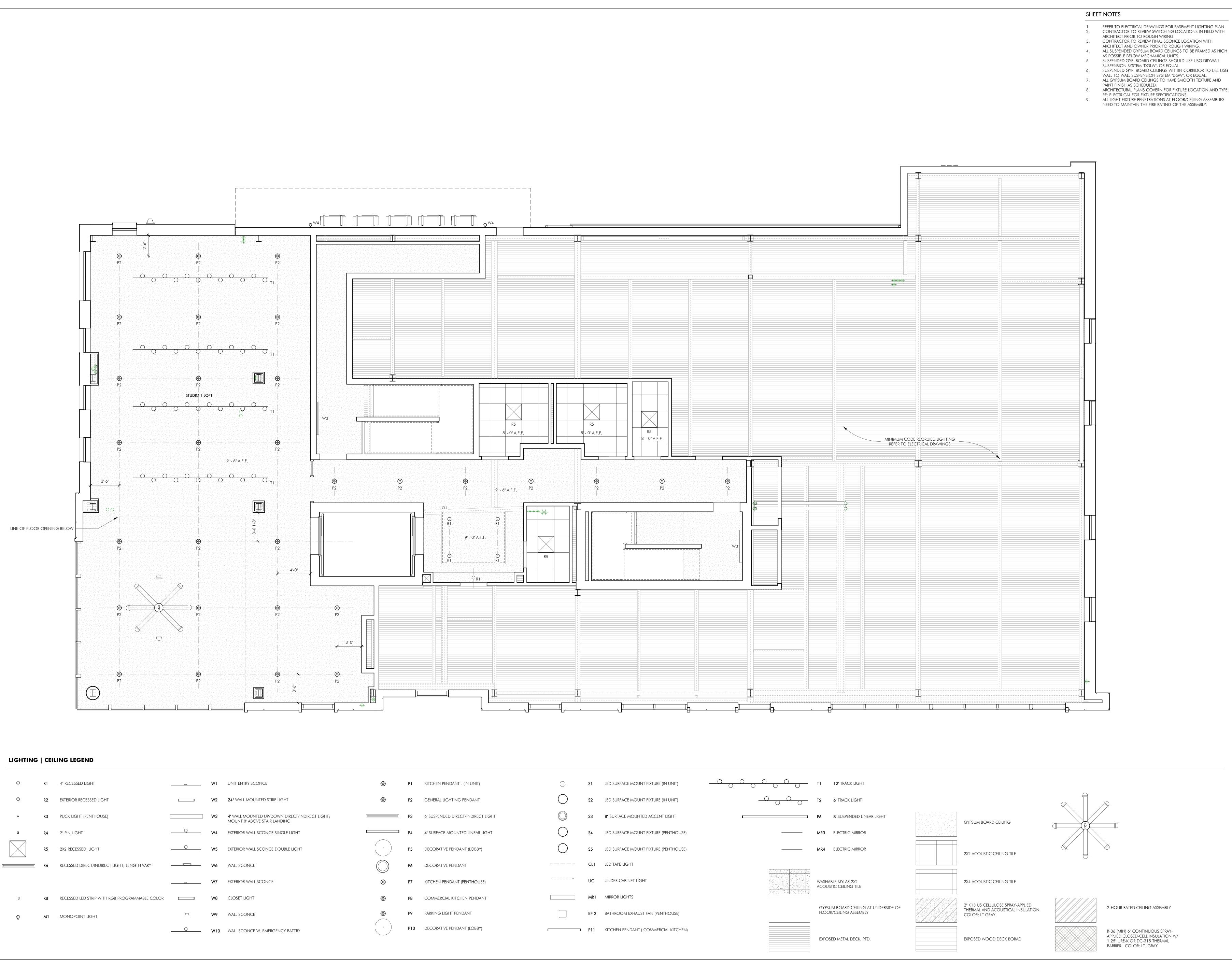
M1 MONOPOINT LIGHT

R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR

W7 EXTERIOR WALL SCONCE

**W9** WALL SCONCE

W10 WALL SCONCE W. EMERGENCY BATTRY



| ARCHITECT

BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP

DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 617-938-3349

MEP/FP EDE, INC.

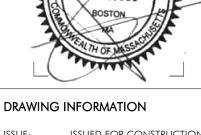
135 BEAVER STREET, SUITE 404 617-969-7700

**ENERGY MODELING** envienergy studio

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

REVISIONS MARK ISSUE DATE





DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION DATE: <u>02/07/2022</u>

PROJECT #: 20020 SCALE: 1/4" = 1'-0"

DRAWING TITLE THIRD FLOOR REFLECTED CEILING PLAN

DRAWING NUMBER

copyright: EMBARC STUDIO, LLC

BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125

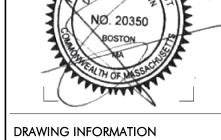
H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

MARK ISSUE DATE



ISSUE: ISSUED FOR CONSTRUCTION

DATE: <u>02/07/2022</u> PROJECT #: 20020 SCALE: 1/4" = 1'-0"

DRAWING TITLE 4TH FLOOR REFLECTED CEILING PLAN

DRAWING NUMBER



LIGHTING | CEILING LEGEND

R3 PUCK LIGHT (PENTHOUSE) R4 2" PIN LIGHT

R1 4" RECESSED LIGHT

**R5** 2X2 RECESSED LIGHT

R2 EXTERIOR RECESSED LIGHT

R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY

R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR W8 CLOSET LIGHT M1 MONOPOINT LIGHT

\_\_\_\_\_ W7 EXTERIOR WALL SCONCE

**W6** WALL SCONCE

W2 24" WALL MOUNTED STRIP LIGHT

————— W4 EXTERIOR WALL SCONCE SINGLE LIGHT

————— W5 EXTERIOR WALL SCONCE DOUBLE LIGHT

W3 4' WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT;

MOUNT 8' ABOVE STAIR LANDING

**W9** WALL SCONCE ————— W10 WALL SCONCE W. EMERGENCY BATTRY

STAIRS #1

+/- 8' - 10" A.F.F.

R2

P3 6' SUSPENDED DIRECT/INDIRECT LIGHT P4 4' SURFACE MOUNTED LINEAR LIGHT P5 DECORATIVE PENDANT (LOBBY)

8 - 0 A.F.F.

P6 DECORATIVE PENDANT

BEDROOM

\BEDROOM/

/8' - 0" A.F.F.

STAIRS #2

P7 KITCHEN PENDANT (PENTHOUSE) COMMERCIAL KITCHEN PENDANT PARKING LIGHT PENDANT

P10 DECORATIVE PENDANT (LOBBY)

\$3 8" SURFACE MOUNTED ACCENT LIGHT LED SURFACE MOUNT FIXTURE (PENTHOUSE) \$5 LED SURFACE MOUNT FIXTURE (PENTHOUSE) ---- CL1 LED TAPE LIGHT UC UNDER CABINET LIGHT

LED SURFACE MOUNT FIXTURE (IN UNIT)

MR1 MIRROR LIGHTS **EF 2** BATHROOM EXHAUST FAN (PENTHOUSE)

P11 KITCHEN PENDANT ( COMMERCIAL KITCHEN)

P6 8' SUSPENDED LINEAR LIGHT MR3 ELECTRIC MIRROR MR4 ELECTRIC MIRROR WASHABLE MYLAR 2X2 ACOUSTIC CEILING TILE

UNIT #4

+/- 8' - 10" A.F.F.

FLOOR/CEILING ASSEMBLY

EXPOSED METAL DECK, PTD.

GYPSUM BOARD CEILING AT UNDERSIDE OF

1.25" URE-K OR DC-315 THERMAL BARRIER. COLOR: LT. GRAY



OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUC

33 A STREET SOUTH BOSTON, MA REVISIONS

MARK ISSUE DATE



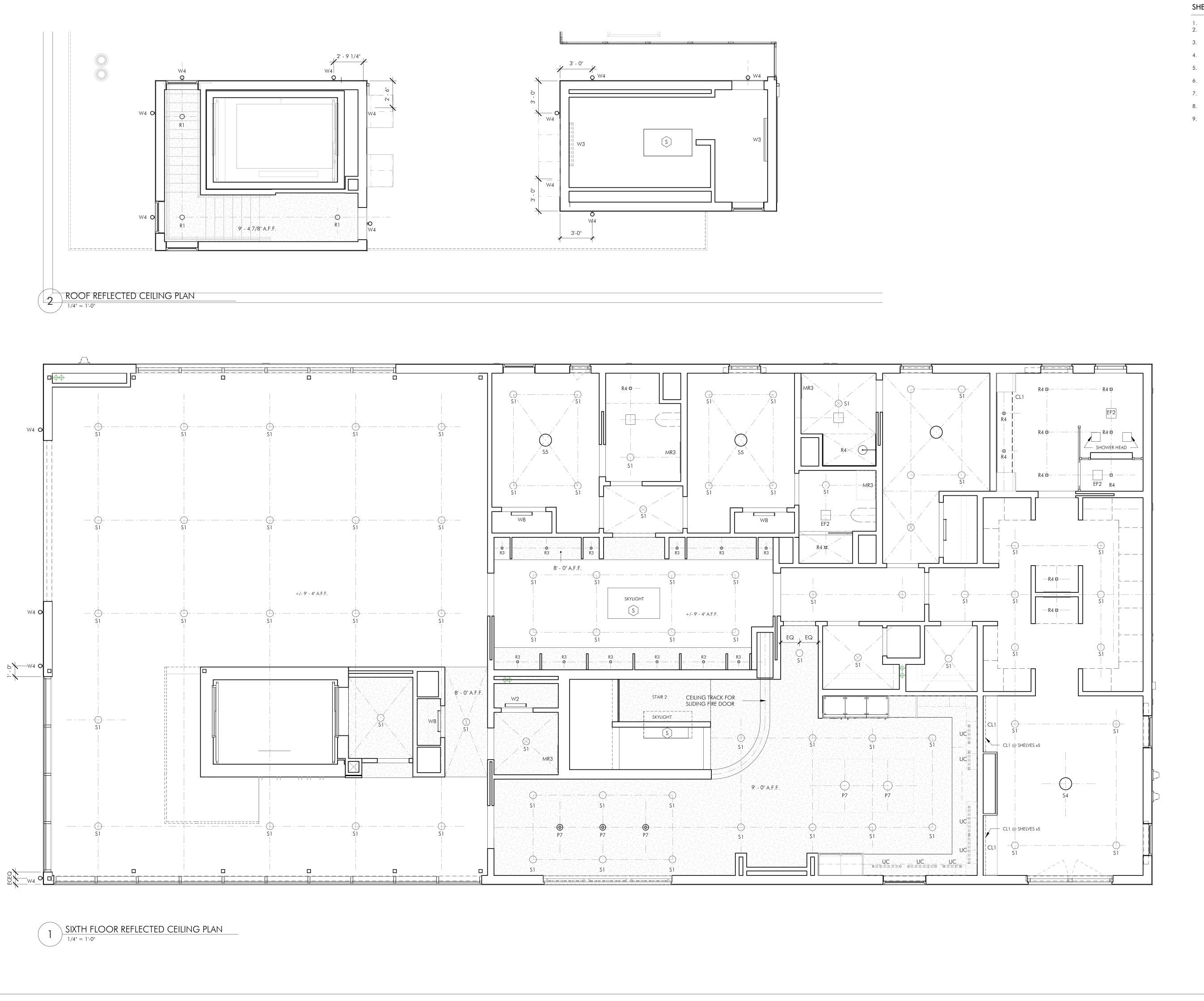
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

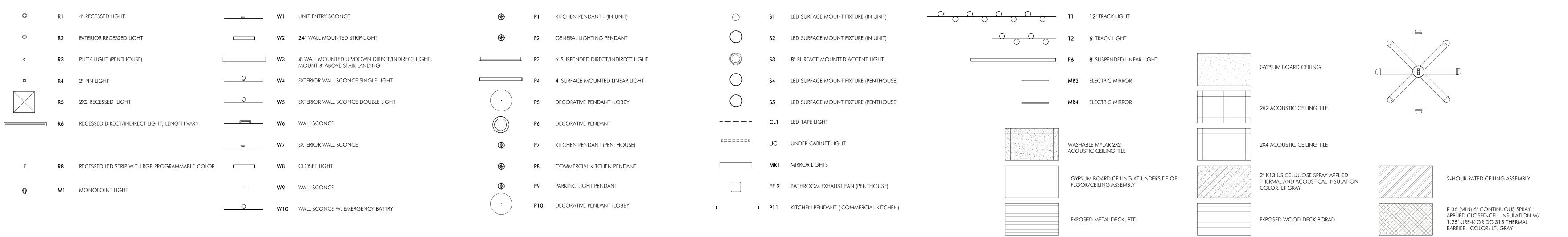
DATE: <u>02/07/2022</u> PROJECT #: 20020 SCALE: 1/4" = 1'-0"

DRAWING TITLE 5TH FLOOR REFLECTED

CEILING PLAN DRAWING NUMBER

copyright: EMBARC INC.





SHEET NOTES

REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN 2. CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH

ARCHITECT PRIOR TO ROUGH WIRING. CONTRACTOR TO REVIEW FINAL SCONCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.

4. ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS.

SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM "DGLW", OR EQUAL.

SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG WALL-TO-WALL SUSPENSION SYSTEM "DGW", OR EQUAL.

ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED. 8. ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE. RE: ELECTRICAL FOR FIXTURE SPECIFICATIONS. 9. ALL LIGHT FIXTURE PENETRATIONS AT FLOOR/CEILING ASSEMBLIES

NEED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

| ARCHITECT BOSTON, MA 02118

O: 617.765.8000 www.embarcdesign.com OWNER

CONSULTANTS

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115

NEWTON CENTRE, MA 02459

617-446-3114

ONSTRUC

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION DATE: 02/07/2022 PROJECT #: <u>20020</u> SCALE: 1/4" = 1'-0"

DRAWING TITLE 6TH FLOOR REFLECTED

CEILING PLAN DRAWING NUMBER

copyright: EMBARC INC.

LIGHTING | CEILING LEGEND



580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL
H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

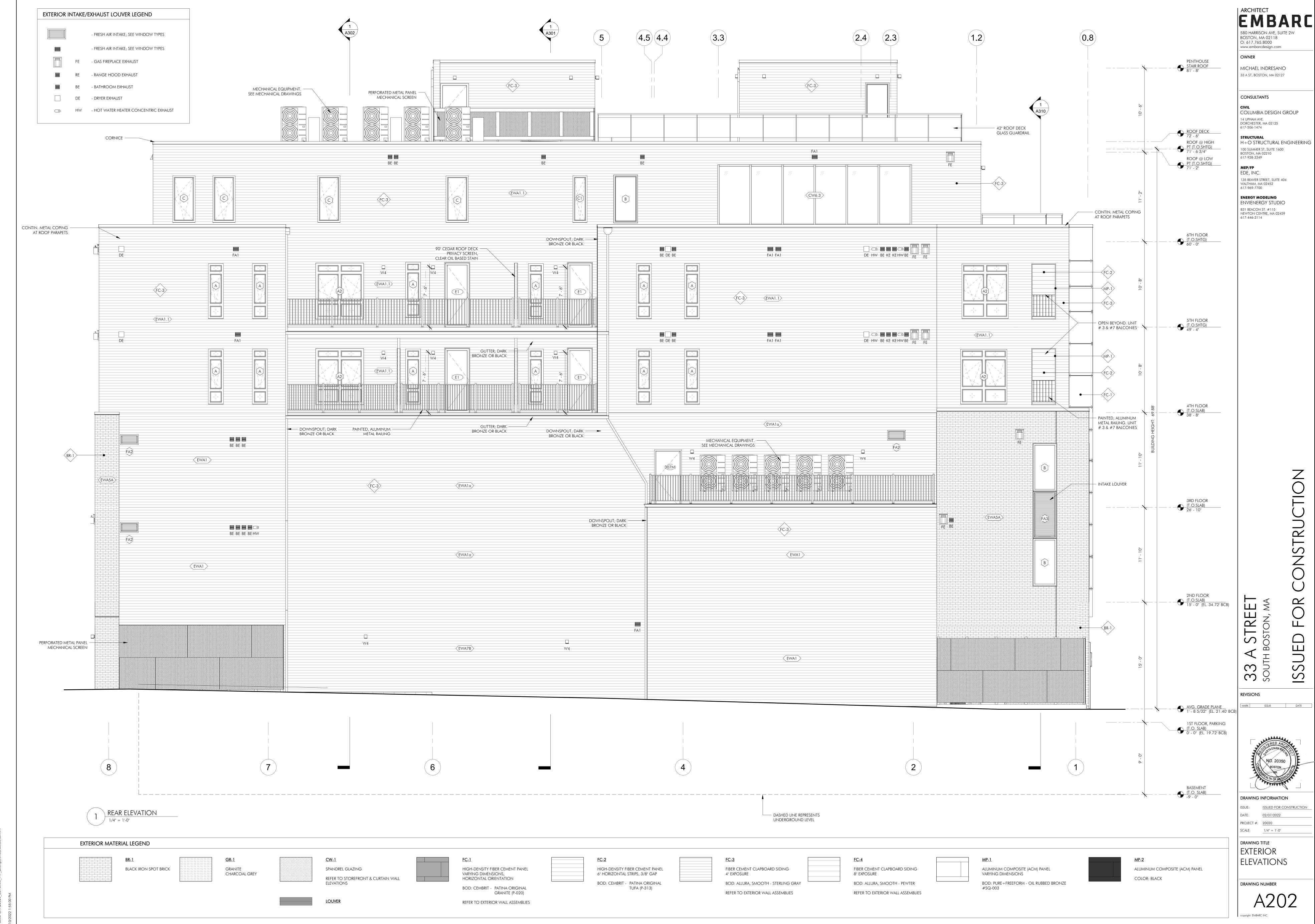
ONSTRUCTION 33 A STREET SOUTH BOSTON, MA ISSUED

REVISIONS MARK ISSUE DATE



DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION DATE: 02/07/2022 PROJECT #: 20020

SCALE: 1/4" = 1'-0" DRAWING TITLE EXTERIOR ELEVATIONS - A STREET



D:\Local Revit\20020\_33A Street\_v19\_yzheng@embarcstu



33 A ST, BOSTON, MA 02127

CONSULTANTS CIVIL COLUMBIA DESIGN GROUP

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474 STRUCTURAL

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

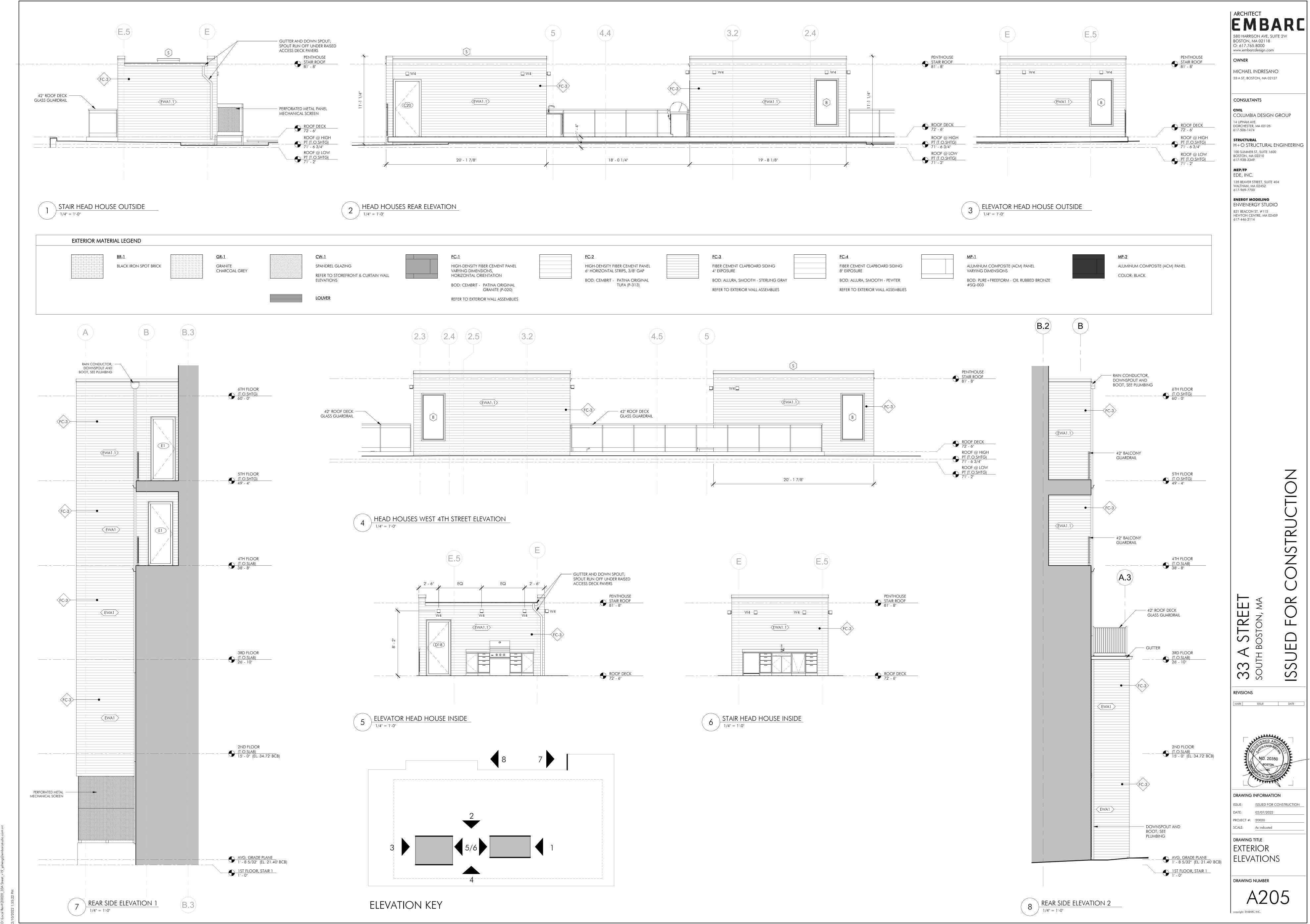
**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION 33 A STREET SOUTH BOSTON, MA ISSUEI

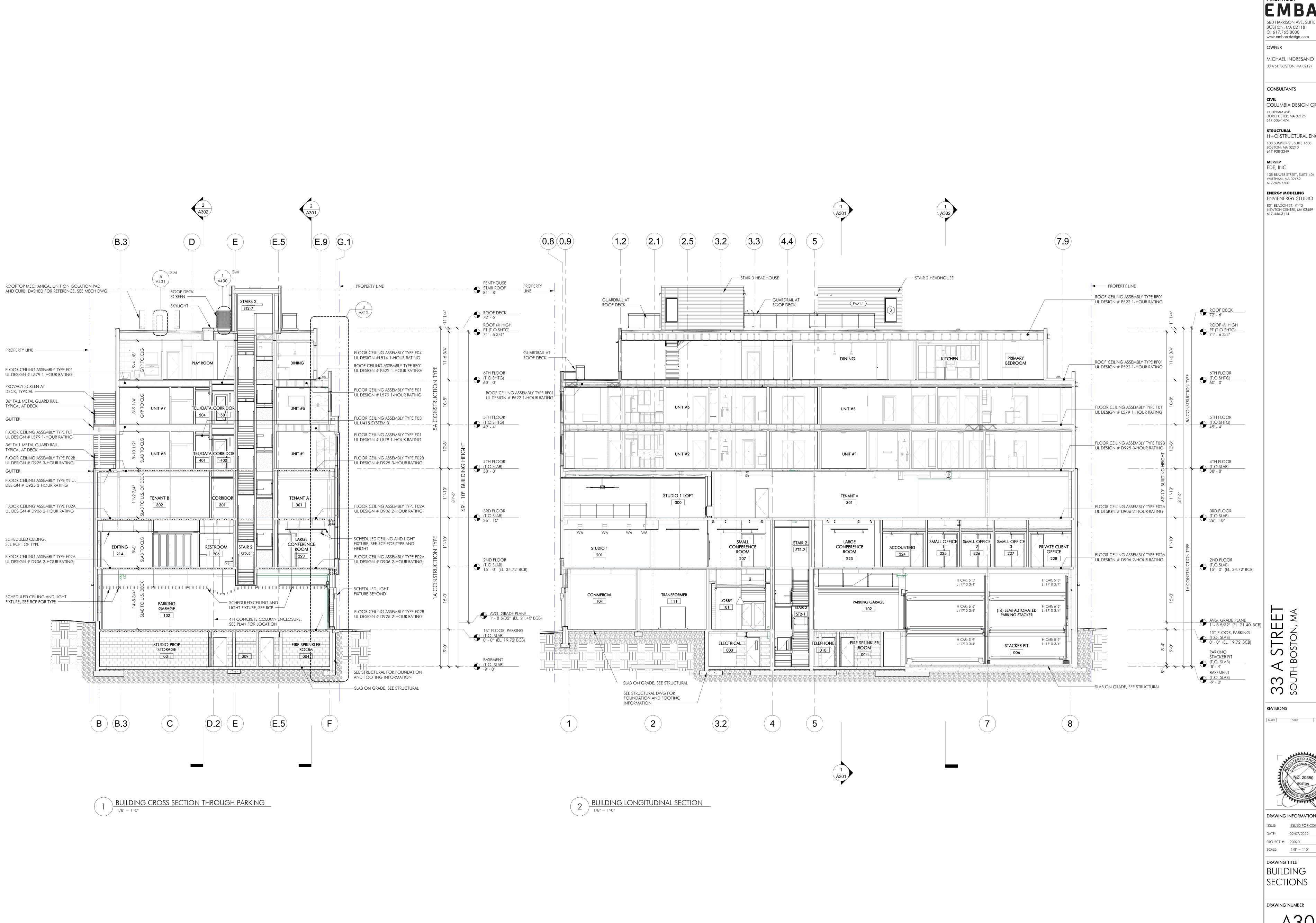
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"DRAWING TITLE EXTERIOR ELEVATIONS





ocal Revit\20020\_33A Street\_v19\_yzheng@embarcstudio.c



BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

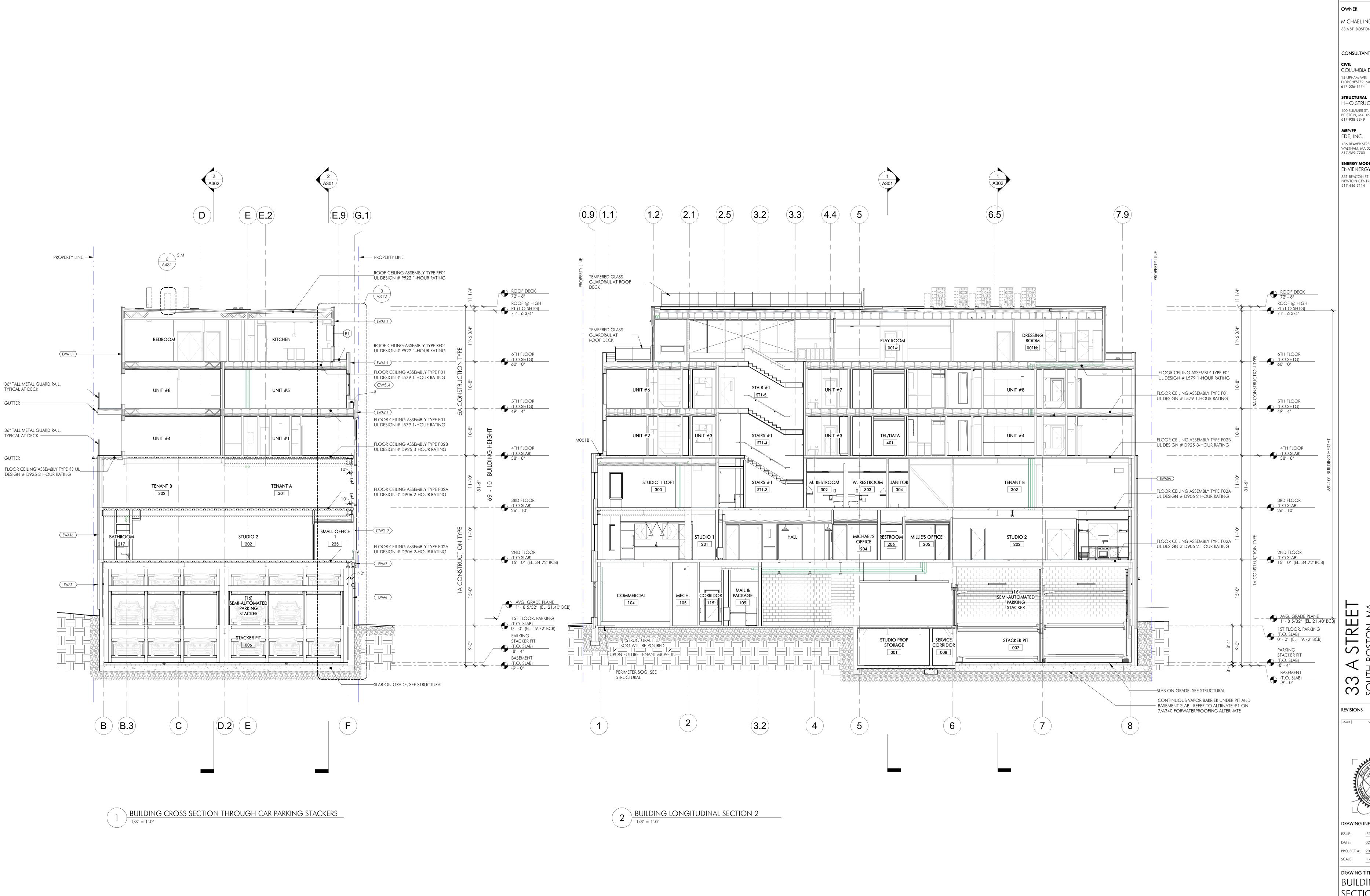
envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

NSTRUC



DRAWING INFORMATION

SCALE: 1/8" = 1'-0" DRAWING TITLE BUILDING



| ARCHITECT

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUEI

REVISIONS

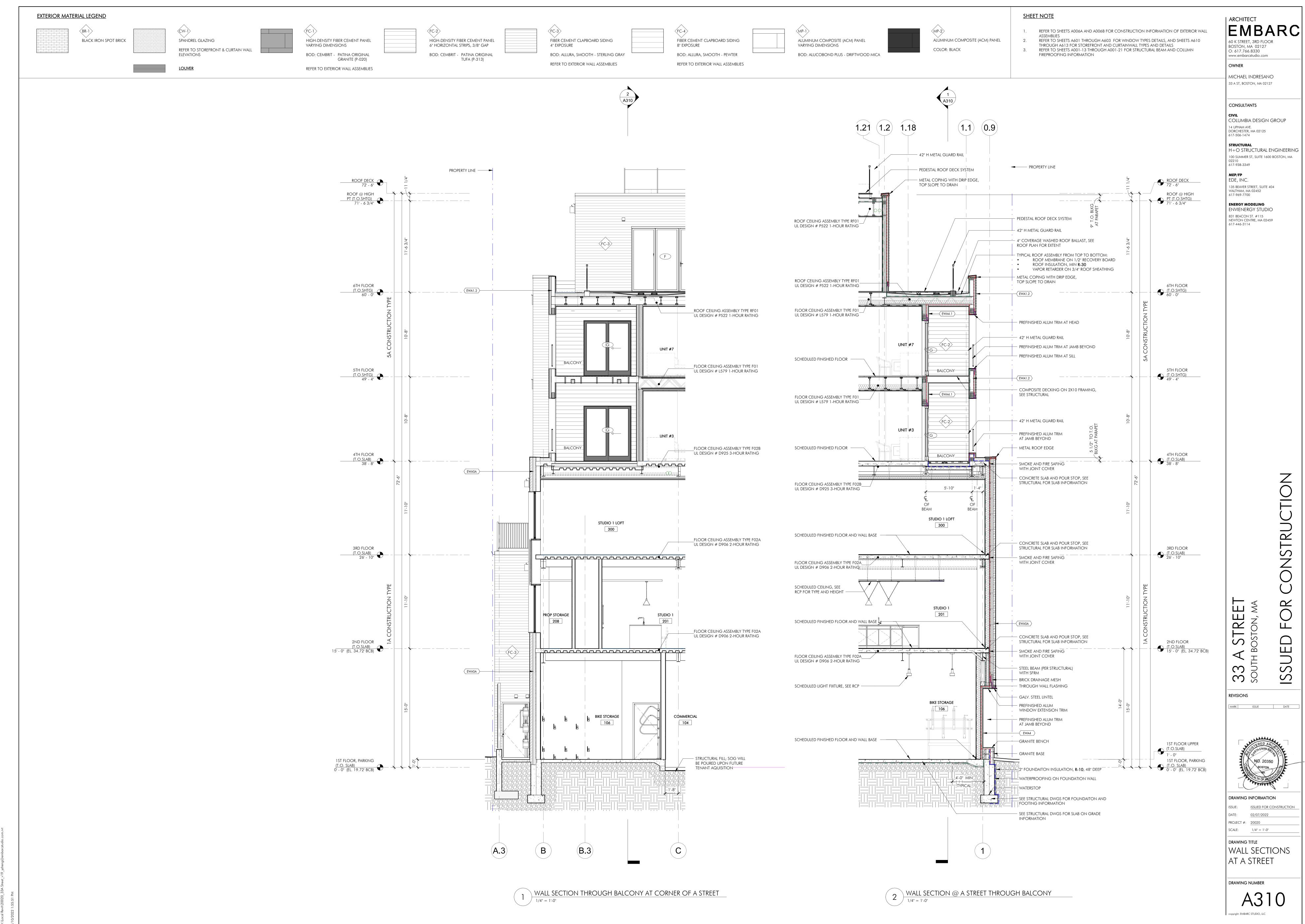
MARK ISSUE DATE

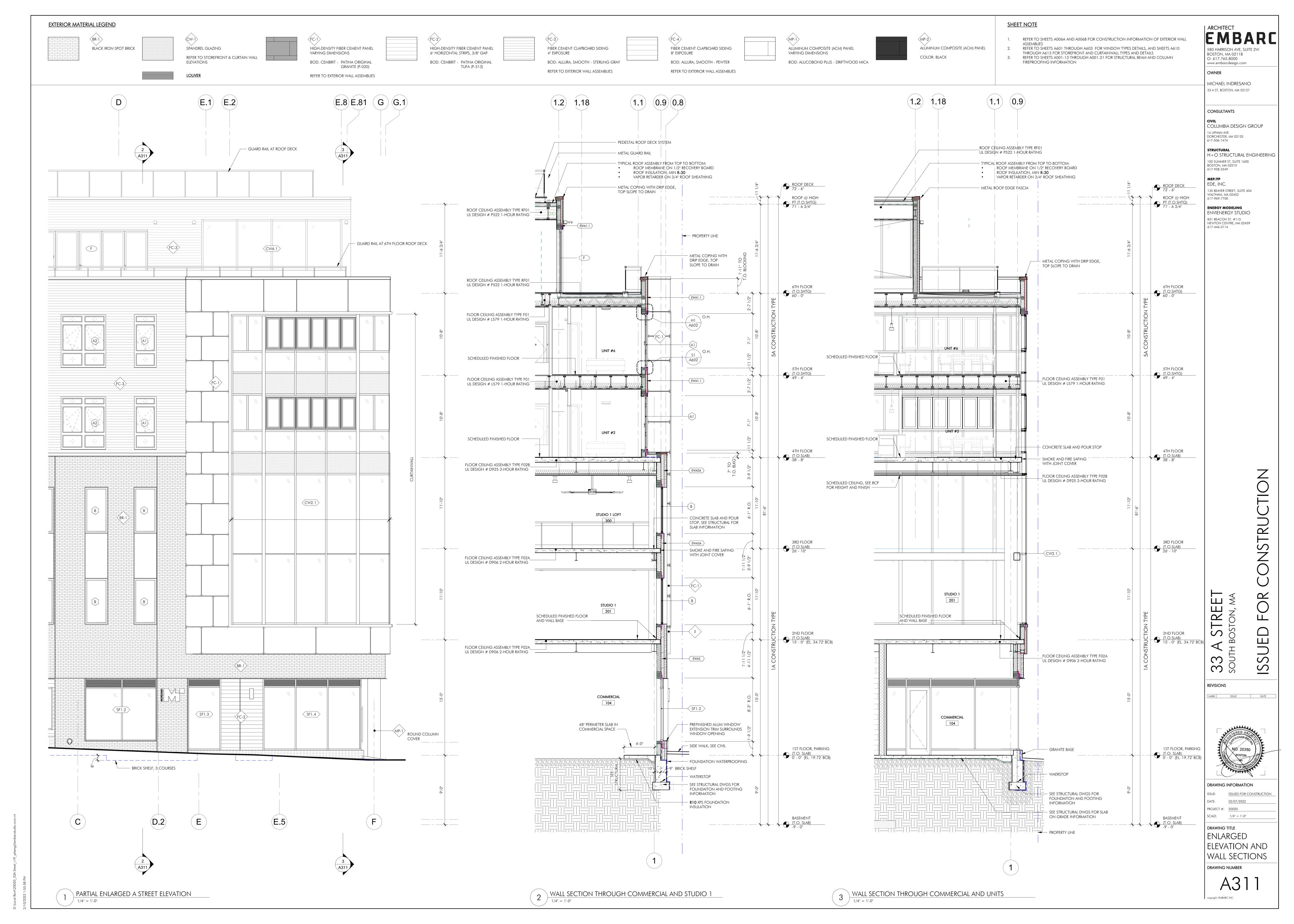


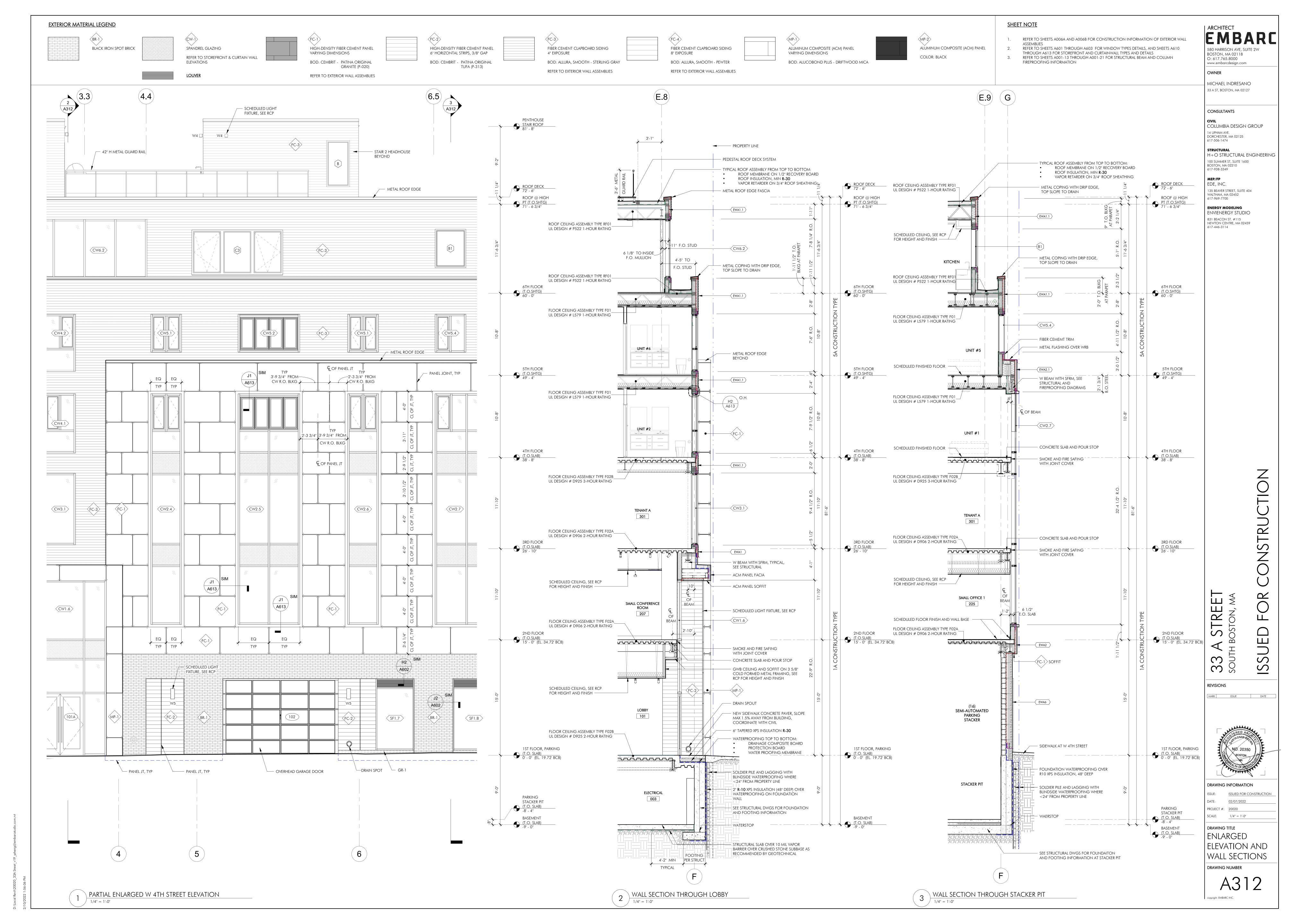
DRAWING INFORMATION

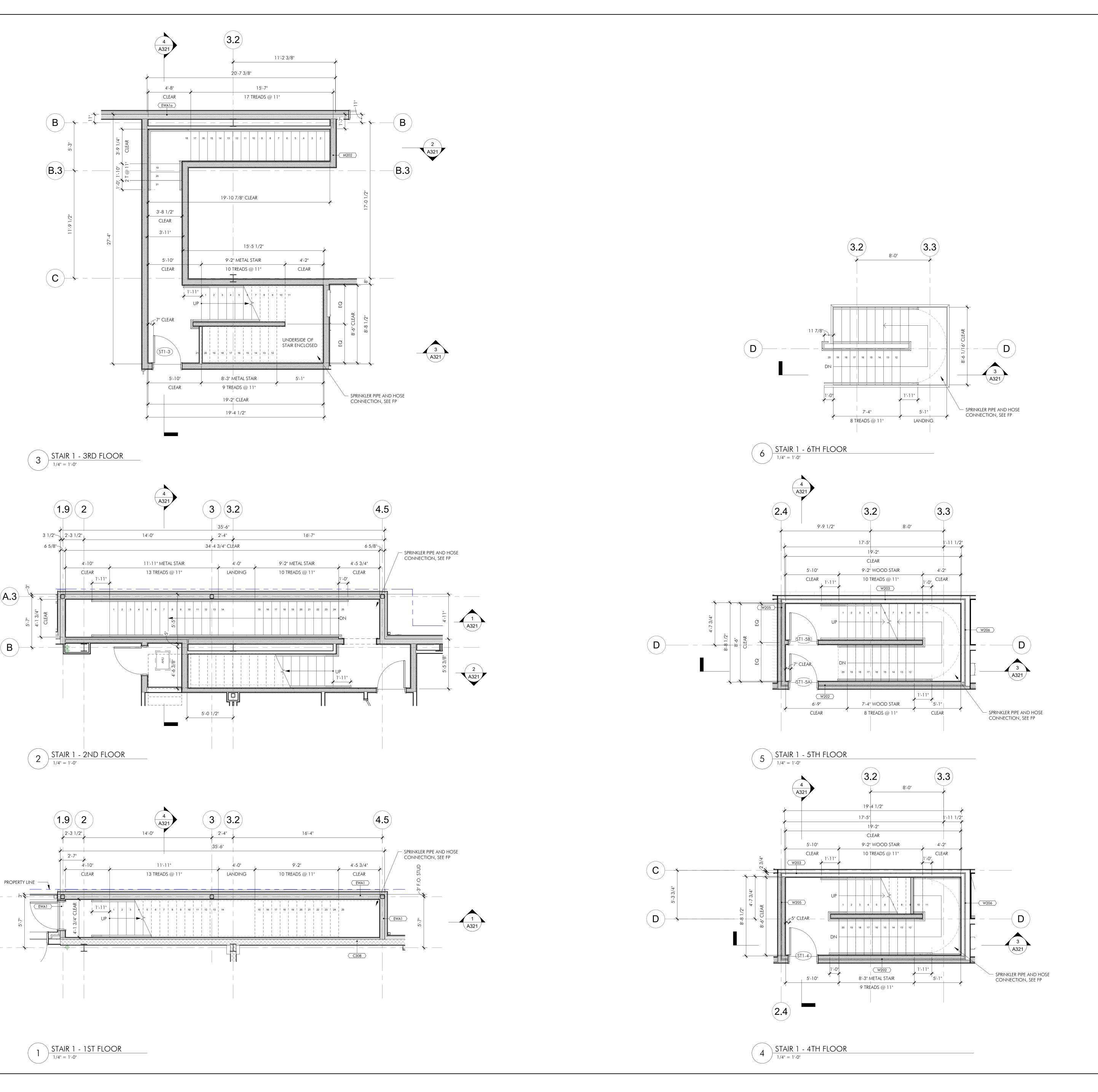
ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020 SCALE: 1/8" = 1'-0"

DRAWING TITLE BUILDING SECTIONS









ARCHITECT EMBARC

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

33 A ST, BOSTON, MA 02127

OWNER MICHAEL INDRESANO

CONSULTANTS

617-506-1474

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

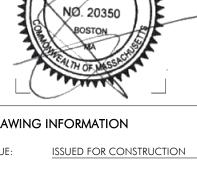
**ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

ISSUED

33 A STREET SOUTH BOSTON, MA REVISIONS





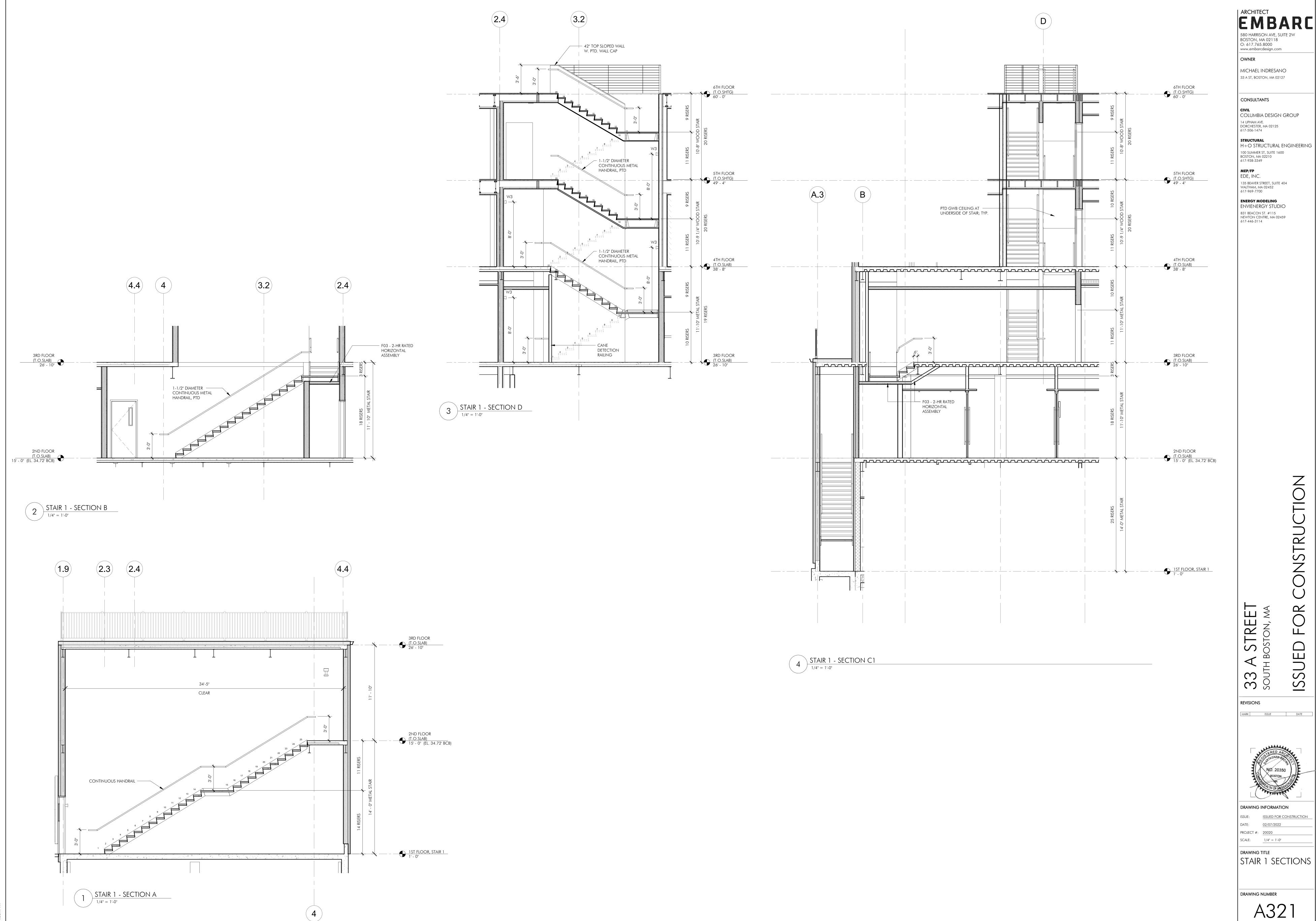
DRAWING INFORMATION PROJECT #: 20020

SCALE: 1/4" = 1'-0" DRAWING TITLE STAIR 1 PLANS

DRAWING NUMBER A320

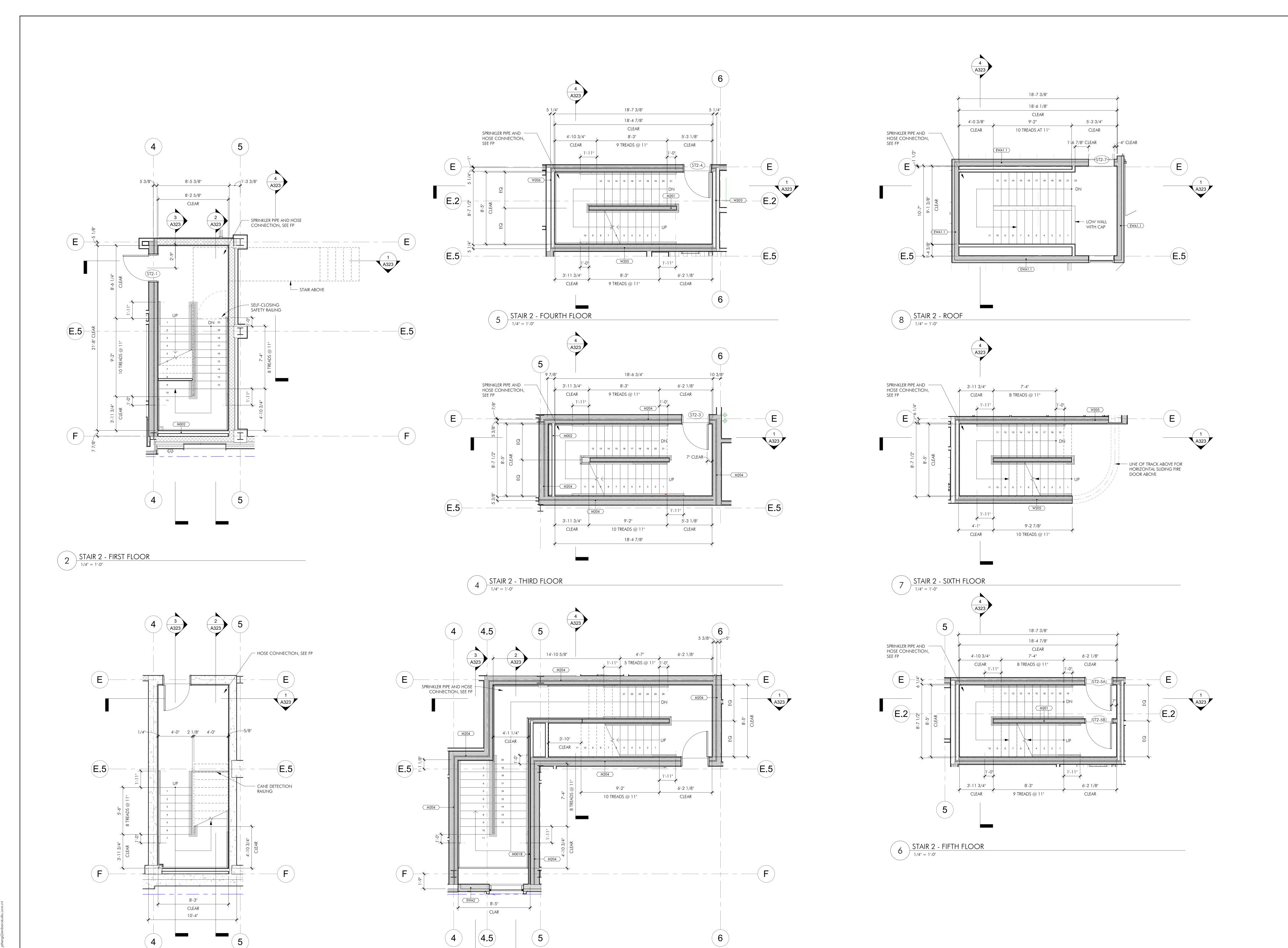
copyright: EMBARC INC.

B



ONSTRUCTION

ISSUED



3 STAIR 2 - SECOND
1/4" = 1'-0"

1 STAIR 2 - BASEMENT

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

OWNER

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** 

ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

33 A STREET SOUTH BOSTON, MA ISSUED REVISIONS

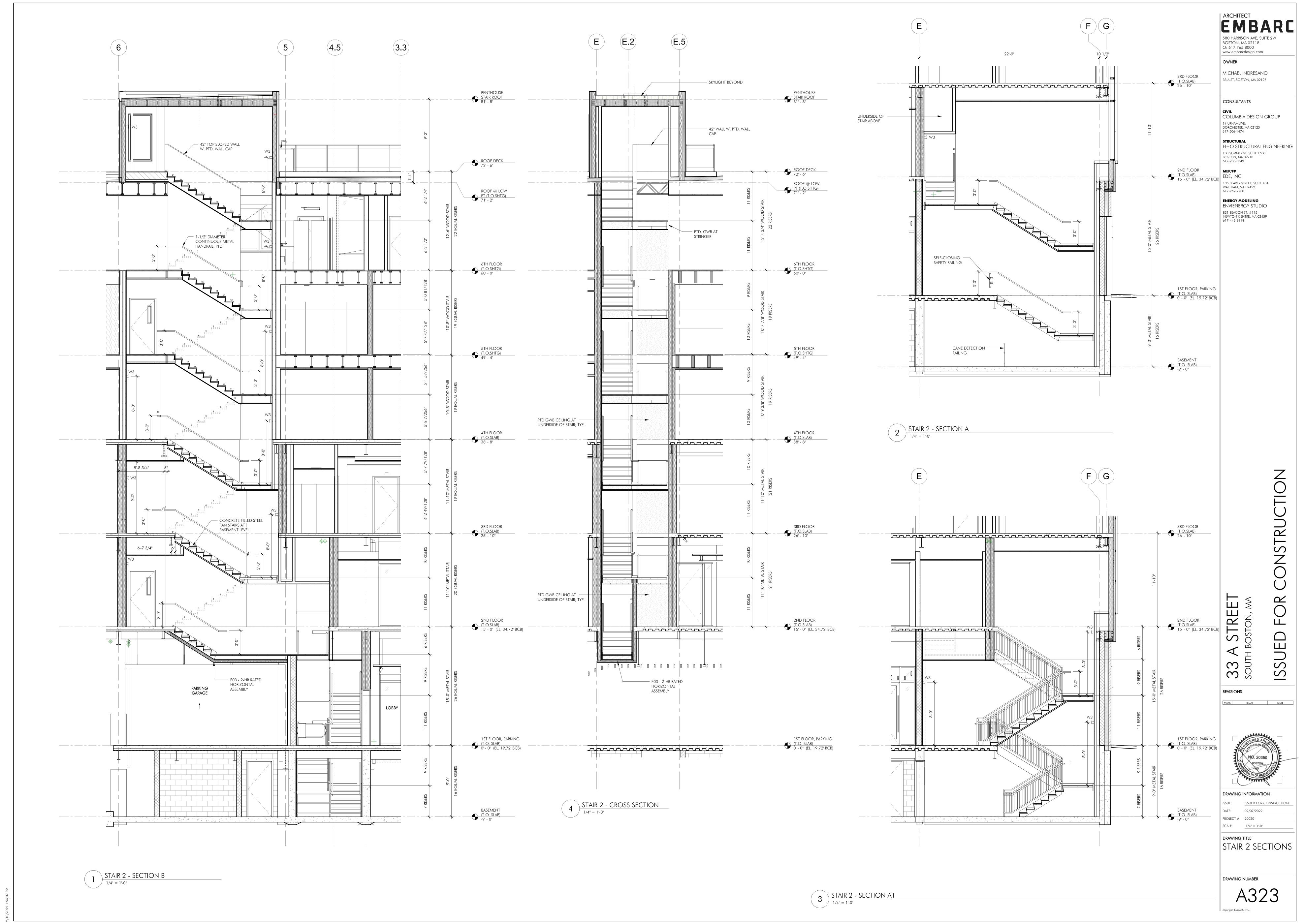


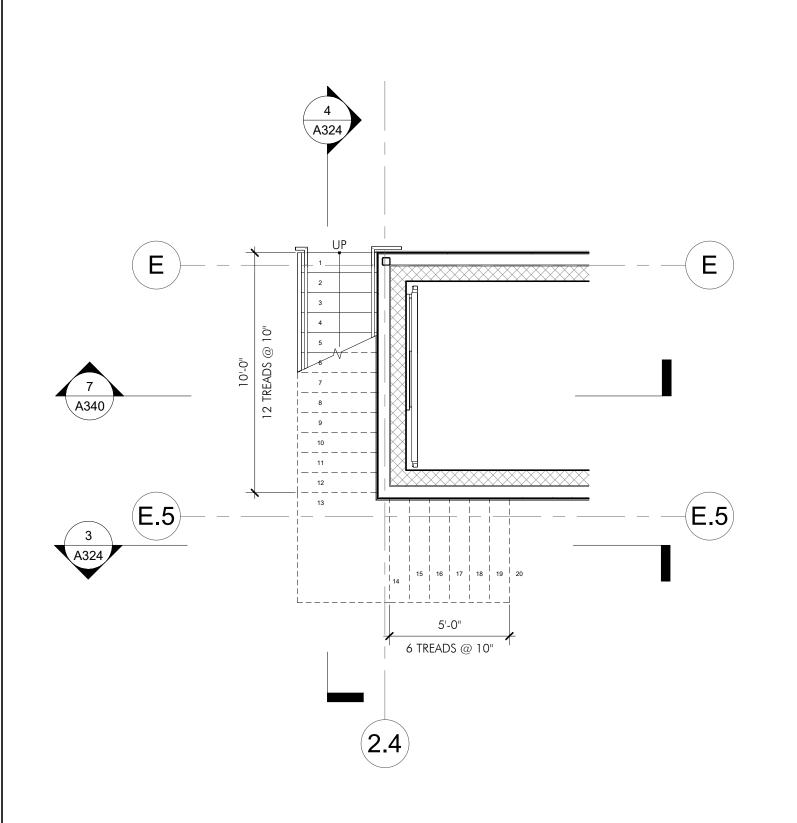
- while DRAWING INFORMATION

PROJECT #: 20020 SCALE: 1/4" = 1'-0"

DRAWING TITLE STAIR 2 PLANS

DRAWING NUMBER A322 copyright: EMBARC INC.





2.4

PENTHOUSE STAIR ROOF 81' - 8"

— 1-1/2" DIAMETER CONTINUOUS METAL HANDRAIL, PTD

— 42" HEIGHT CABLE GUARD RAIL WITH WOOD CAP ON STEEL STRINGER

ROOF DECK 72' - 6"

ROOF @ LOW PT (T.O.SHTG) 71' - 2"

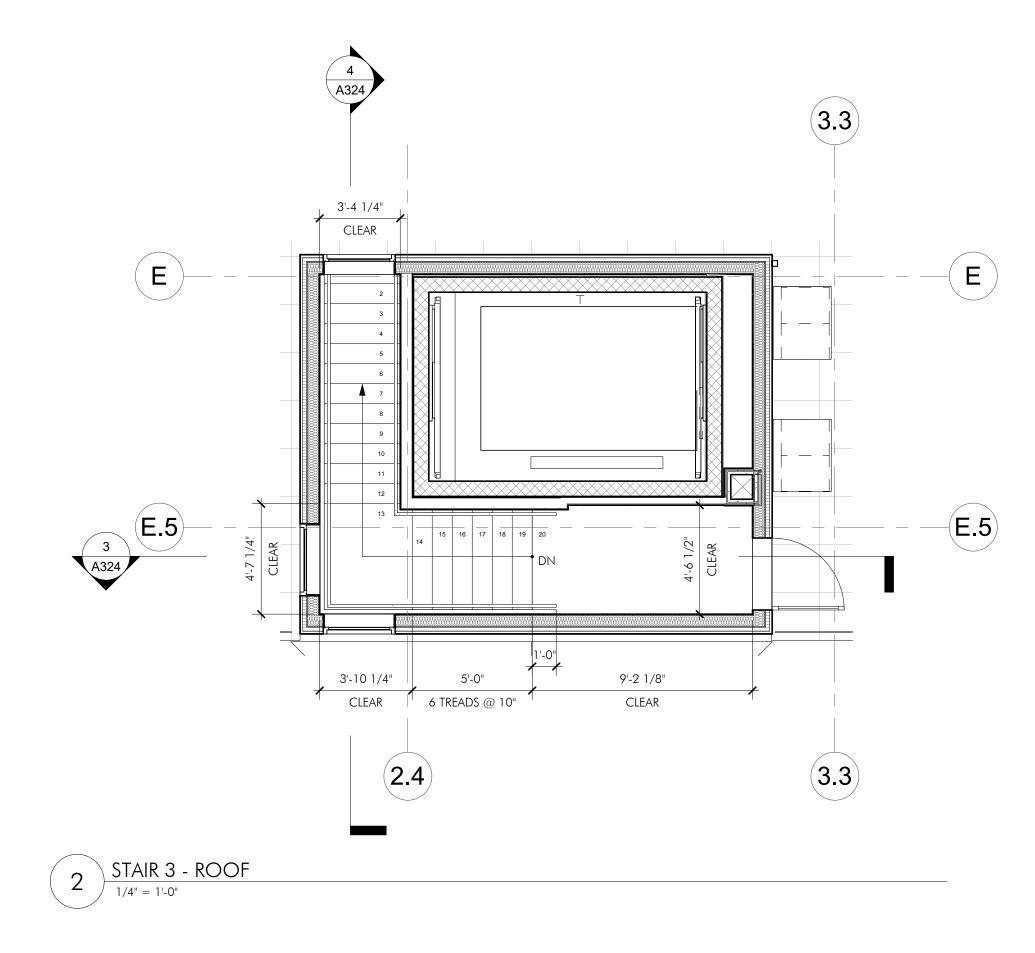
– Open Riser Stair

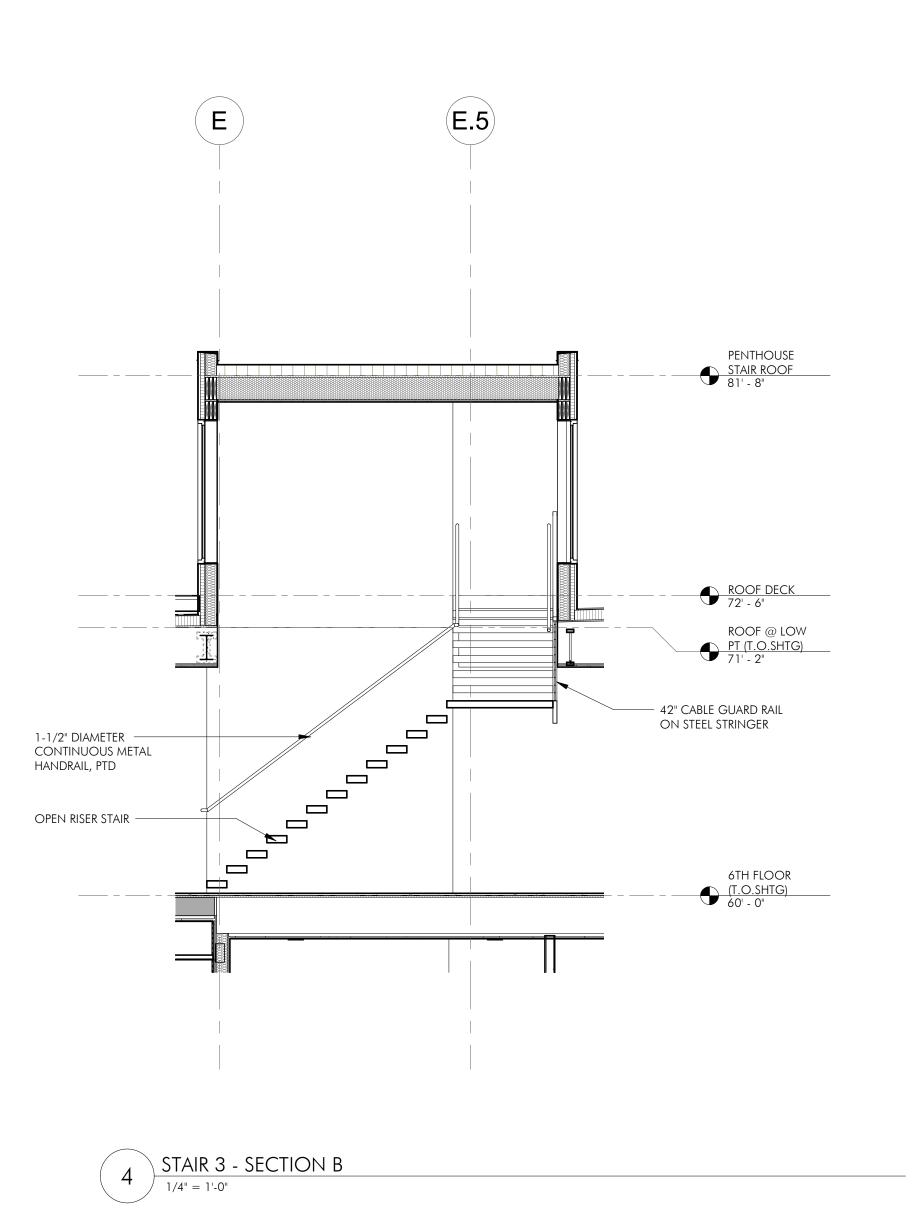
6TH FLOOR (T.O.SHTG) 60' - 0"

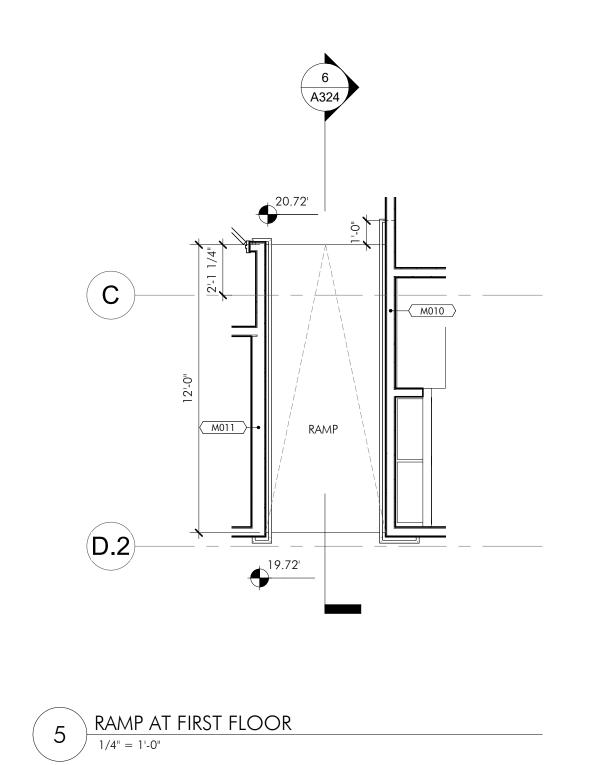
STAIR 3 - SIXTH FLOOR

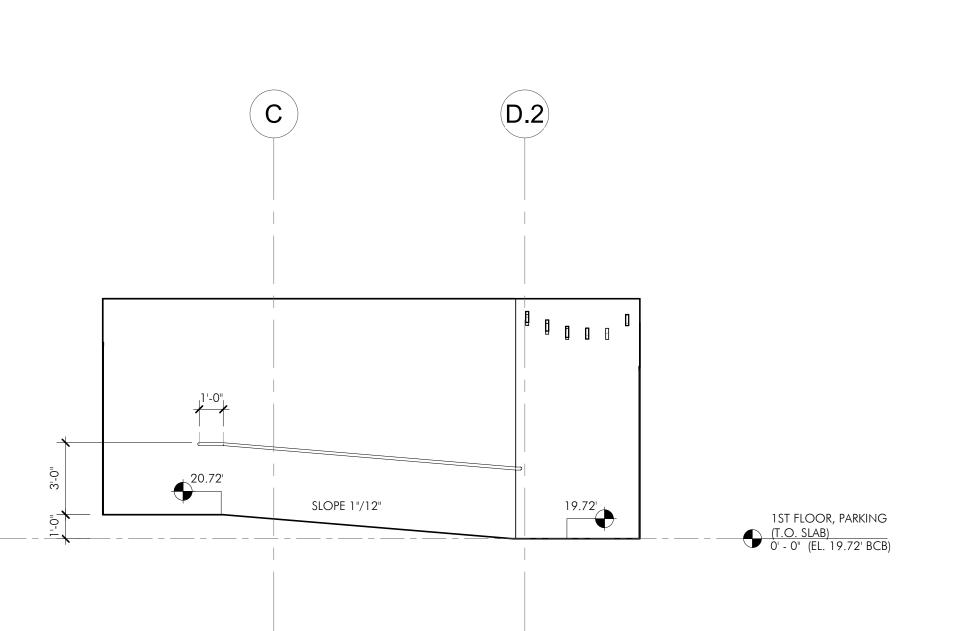
1/4" = 1'-0"

3 STAIR 3 - SECTION A









6 SECTION AT FIRST FLOOR RAMP

1/4" = 1'-0"

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

OWNER

CIVIL COLUMBIA DESIGN GROUP

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474 STRUCTURAL
H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUED

33 A STREET SOUTH BOSTON, MA

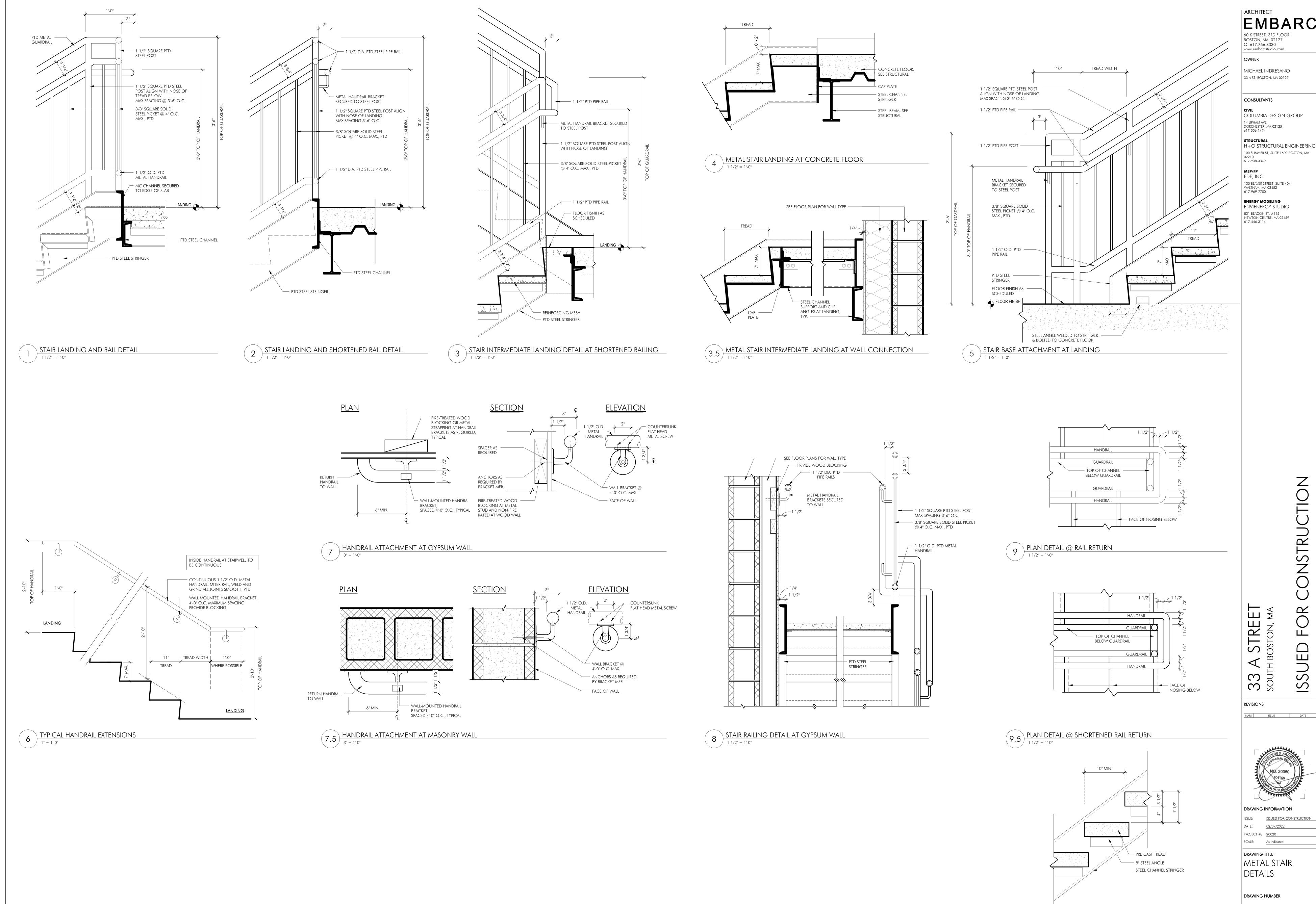
REVISIONS



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

PROJECT #: 20020 SCALE: 1/4" = 1'-0"

DRAWING TITLE STAIR 3 PLANS AND SECTION



OPEN RISER STAIR DETAIL

1 1/2" = 1'-0"

DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

ONSTRUC

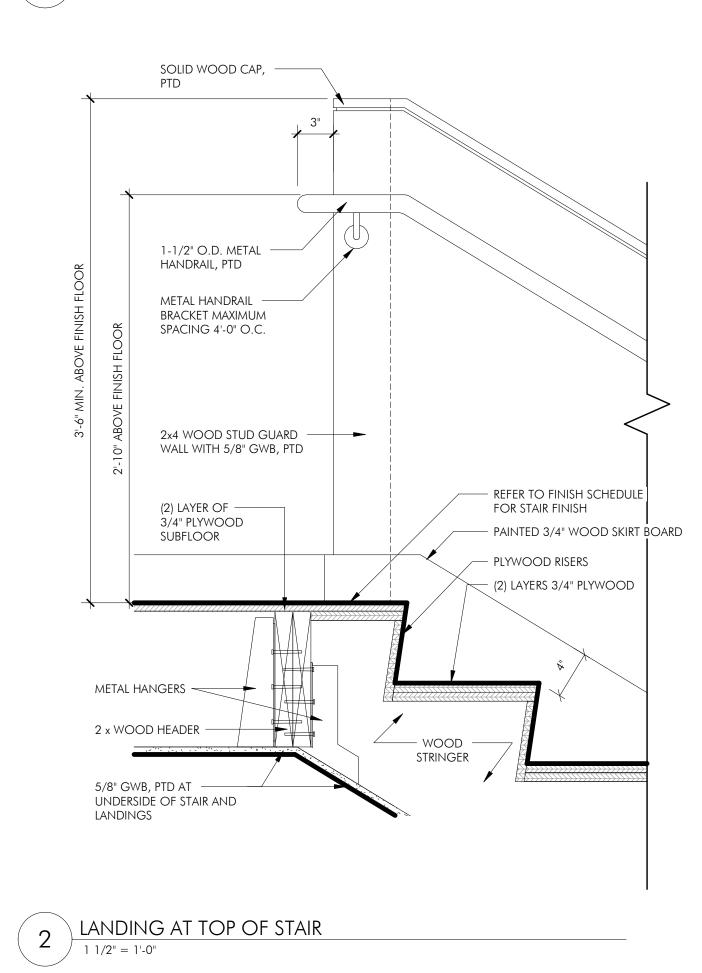
ISSUEI

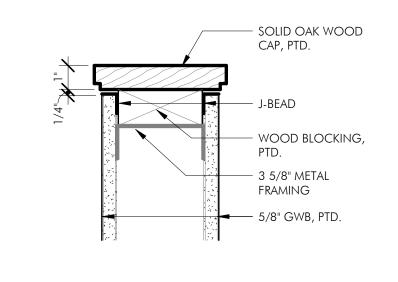
PROJECT #: 20020

DRAWING TITLE METAL STAIR DETAILS

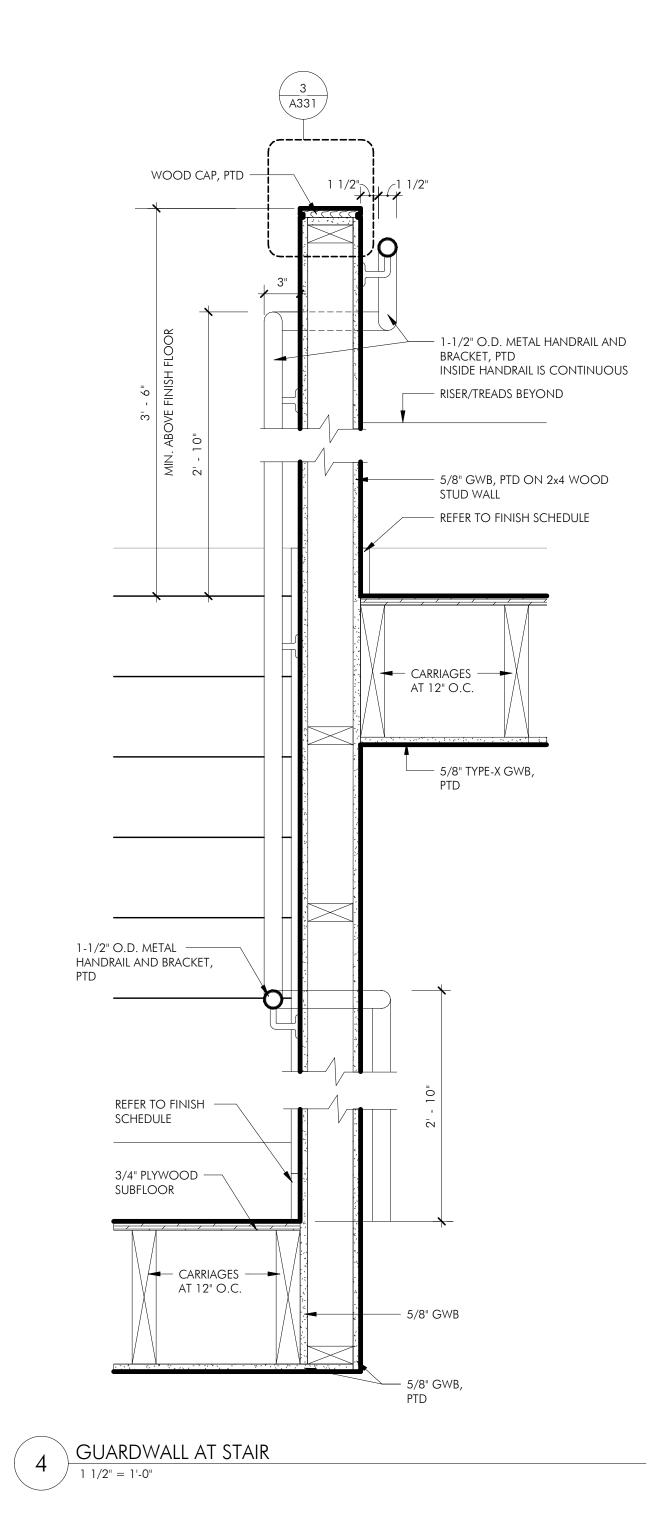
DRAWING NUMBER copyright: EMBARC STUDIO, LLC











| ARCHITECT 60 K STREET, 3RD FLOOR

BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUEI

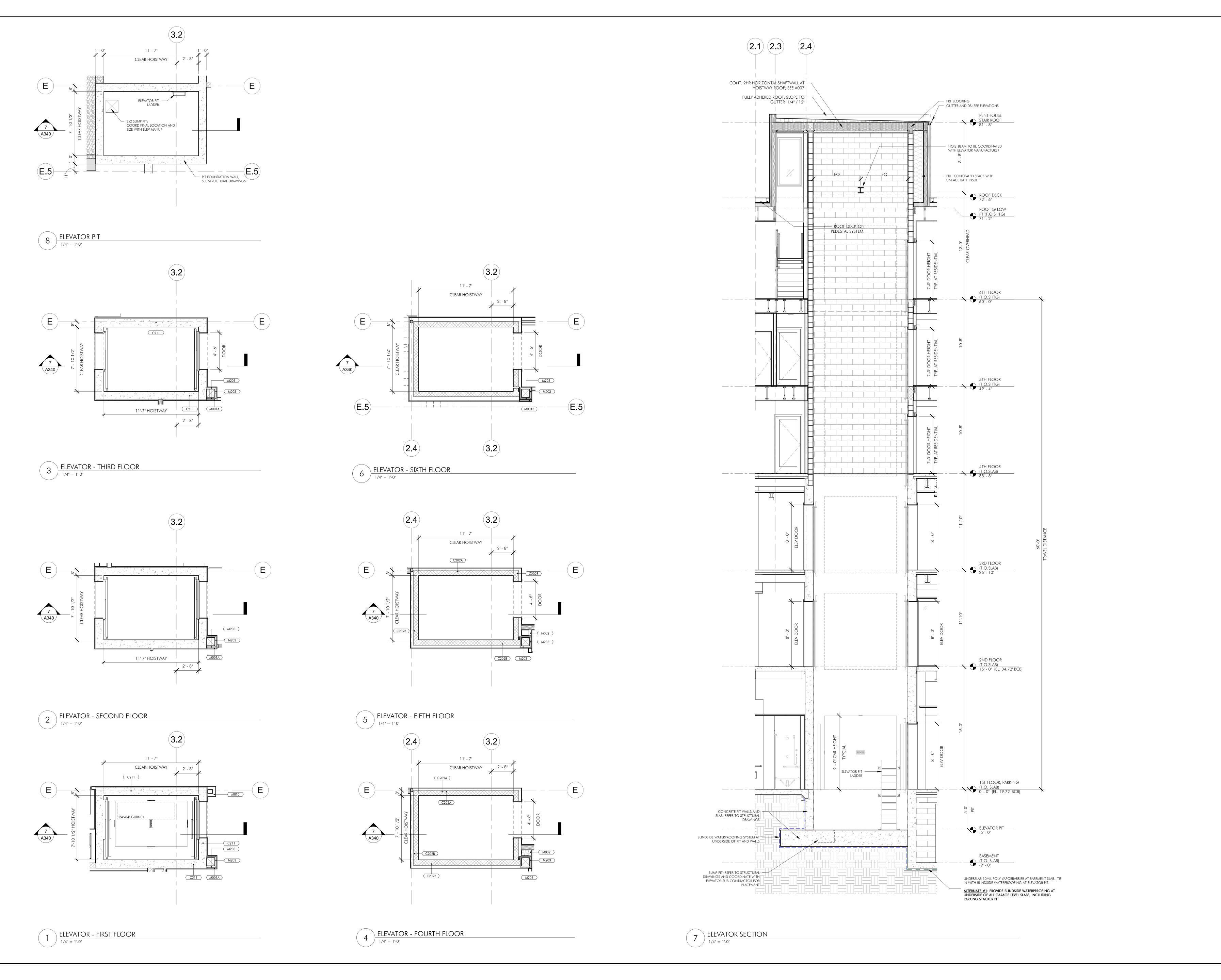
33 A STREET SOUTH BOSTON, MA REVISIONS



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

PROJECT #: 20020

DRAWING TITLE WOOD STAIR DETAILS



33 A ST, BOSTON, MA 02127

OWNER MICHAEL INDRESANO

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

33 A STREET SOUTH BOSTON, MA

ISSUED REVISIONS



DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"DRAWING TITLE

ELEVATOR PLANS AND SECTIONS

PROJECT #: <u>20020</u>

DRAWING NUMBER

copyright: EMBARC INC.

**ROOF DECK SIDE** - BASE PLATE; REFER TO PERFORATED METAL SCREEN ON STRUCTURAL DECK SIDE; FASTENED TO POST AND BEAM AS NEEDED. BOD: MCNICHOLAS PERFORATED METAL / 4"X4" P.T. POST SLEEVED INTO STANCHION ∠— 4"X4" INTERMEDIATE P.T. /─ 4"X"4 P.T. BEAM \_\_/\_\_ POST EQ 8' - 0" MAX.

RA02; REFER TO HORIZONTAL

ASSEMBLY DETAILS

PERFORATED METAL PANEL AT HATCHED AREA, ON DECK SIDE; FASTENED TO POST AS REQUIRED. EXTEND 2" BEYOND WOOD FRAMING AT TOP AND BOTTOM
BOD: MCNICHOLAS PERFORATED METAL ----- 4"X4" P.T. POST ---- 4"X4" P.T. BEAM - ROOF PAVER & PEDESTAL SYSTEM BEYOND POST — 2'X2' WOOD ROOF PAVER ON PEDESTAL SYSTEM - MEMBRANE FLASHING AROUND POST MASTIC SEALANT - ROOF MEMBRANE OVER PROTECTION BOARD 6" TALL GALV. STANCHION WITH BOLTS AS REQUIRED; REFER TO STRUCTURAL — 5" ROOF INSULATION **R-30** WITH PROTECTION BOARD - BASE PLATE WITH (4) ANCHORS; REFER TO STRUCTURAL

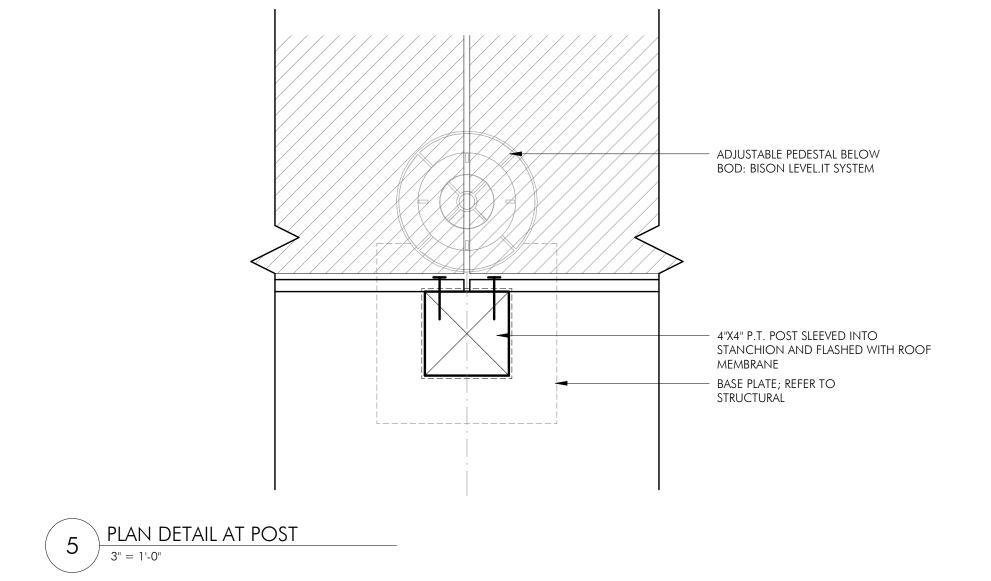
3 SECTION DETAIL AT PERFORATED METAL SCREEN POST
3" = 1'-0"

1 ROOF DECK PERFORATED METAL SCREEN ELEVATION

3/4" = 1'-0"

2 ROOF DECK PERFORATED METAL SCREEN PLAN DETAIL

1 1/2" = 1'-0"

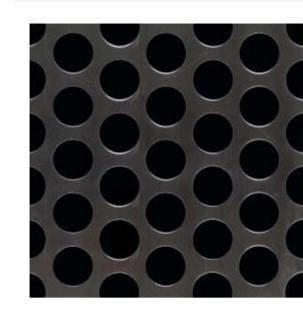


## \_\_\_\_\_\_ \_\_\_\_\_\_ r-----CONDENSER UNIT (PER CONDENSER UNIT (PER CONDENSER UNIT (PER MECHANICAL) MECHANICAL) MECHANICAL) 1'-0" MAX-GC TO COORDINATE DUNNAGE SPACING WITH TIEDOWN KNOCKOUT LOCATIONS OF CONDENSER UNIT CONT ROOF MEMBRANE OVER COVER -BOARD OVER R30 ROOF INSULATION CONT ROOF MEMBRANE OVER COVER -BOARD OVER R30 ROOF INSULATION - PT WOOD TIMBER - REFER TO STRUCTURAL -SPRING ISOLATOR\* — CONTINUOUS ROOFING P.T. WOOD SLEEPERS, ANGLED WALL BRACE -MEMBRANE OVER SLEEPERS REF. STRUCTURAL FASTENED TO BLOCKING BESIDE SPRING ISOLATOR CONTINUOUS VAPOR BARRIER OVER ROOF SHEATHING, REFER TO STRUCTURAL FOR SHEATHING TOP CHORD SLOPED ROOF TRUSS, REF. STRUCTURAL RESTRAINED SPRING MOUNTS SIZED FOR THE WEIGHT \* SPRING ISOLATORS SHALL BE EQUAL TO MODEL: FLS-1-625 OF THE DUNNAGE PLATFORM AND EQUIPMENT KINETICS NOISE CONTROL. INC.

6300 IRELAN PLACE, DUBLIN, OH 43017

McNICHOLS®

Page 1



McNICHOLS® Perforated Metal

Round, Aluminum, Alloy 3003-H14, .0630" Thick (14 Gauge), 3/4" Round on 1" Staggered Centers, 51% Open Area, 48" x 120"

McNICHOLS® Perforated Metal, Round, Aluminum, Alloy 3003-H14, Mill Finish, .0630" Thick (14 Gauge), 3/4" Round on 1" Staggered Centers, 1/4" Bar Width, 1.15 Holes Per Square Inch (HPSI), Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 51% Open Area

ITEM 1734016341 - 48" x 120"

TTEM CRECIFICATIONS	
ITEM SPECIFICATIONS	
Item Number	1734016341
Product Line	Perforated Metal
Hole Type	Round
Primary Material	Aluminum (AL)
Alloy, Grade or Type	Alloy 3003-H14 (3003H14)
Material Finish	Mill Finish
Gauge/Thickness	.0630" Thick (14 Gauge)
Hole Pattern	3/4" Round on 1" Staggered Centers
Hole Size (Diameter)	3/4"
Hole Centers	1"
Bar Width	1/4"
Hole Arrangement	60° Staggered Centers
Holes Per Square Inch (HPSI)	1.15
Straight Rows Parallel to	Length of Sheet
Margins Parallel to Width	Sheared Through Both Ends
Margins Parallel to Length	Minimum Solid Both Sides
End Pattern	Unfinished on Both Ends
Percent Open Area	51%
Weight	0.43 Lbs./Square Foot
Product Form	Sheet
Sizes (Width x Length)	48" x 120" (Cut Sizes Available)

800.237.3820 sales@mcnichols.com mcnichols.com

Inspired to Serve!®

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

> MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

CONSULTANTS

14 UPHAM AVE.

617-506-1474

STRUCTURAL

617-938-3349

MEP/FP

EDE, INC.

DORCHESTER, MA 02125

100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

BOSTON, MA 02210

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** 

831 BEACON ST. #115

ENVIENERGY STUDIO

NEWTON CENTRE, MA 02459 617-446-3114

OWNER

NSTRU(

SCALE: As indicated

REVISIONS

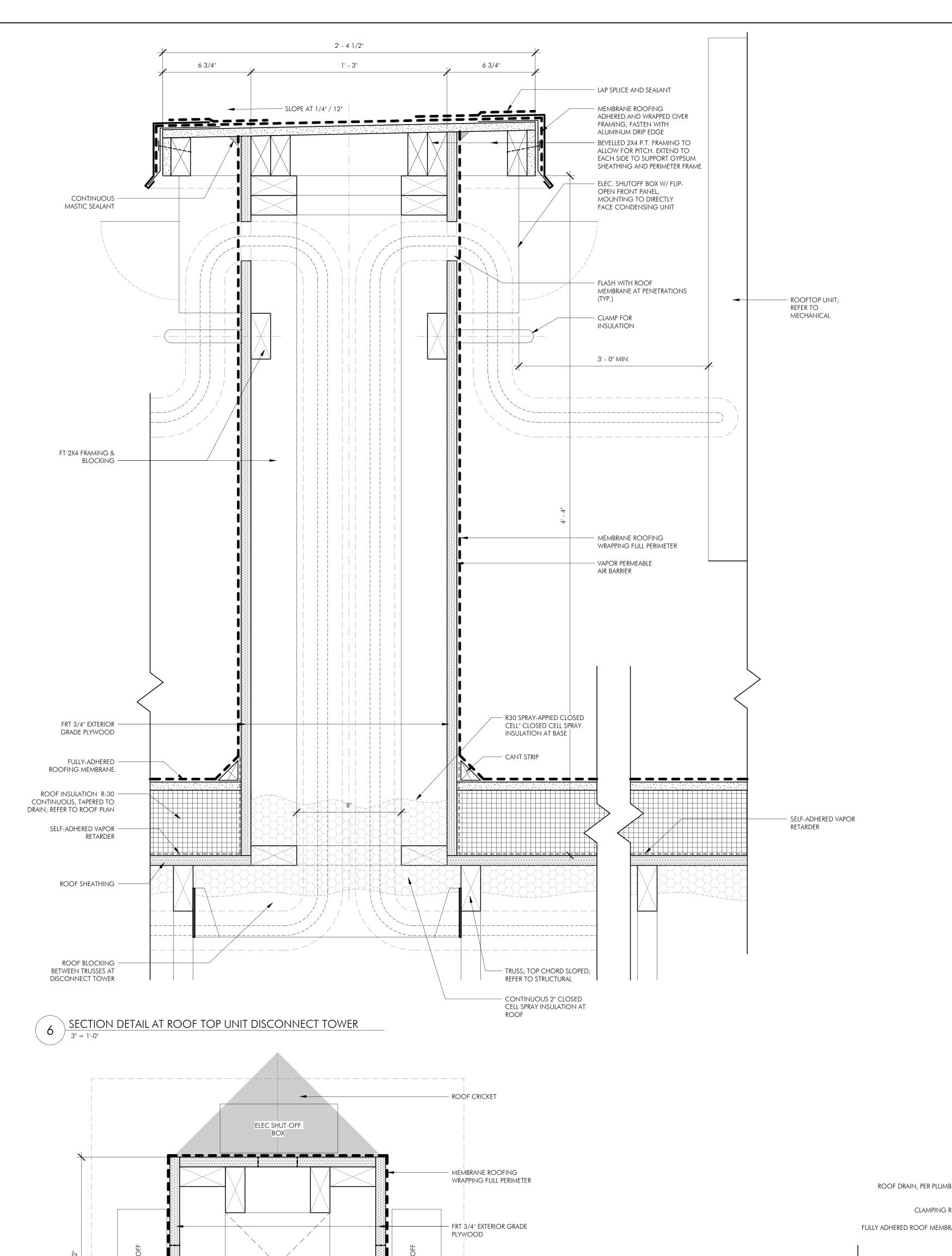
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION DATE: <u>02/07/2022</u> PROJECT #: 20020

DRAWING TITLE ROOF DETAILS

DRAWING NUMBER

SUPPORT. MOUNTS SHALL BE CAPABLE OF RESISTING

WIND AND SEISMIC FORCES

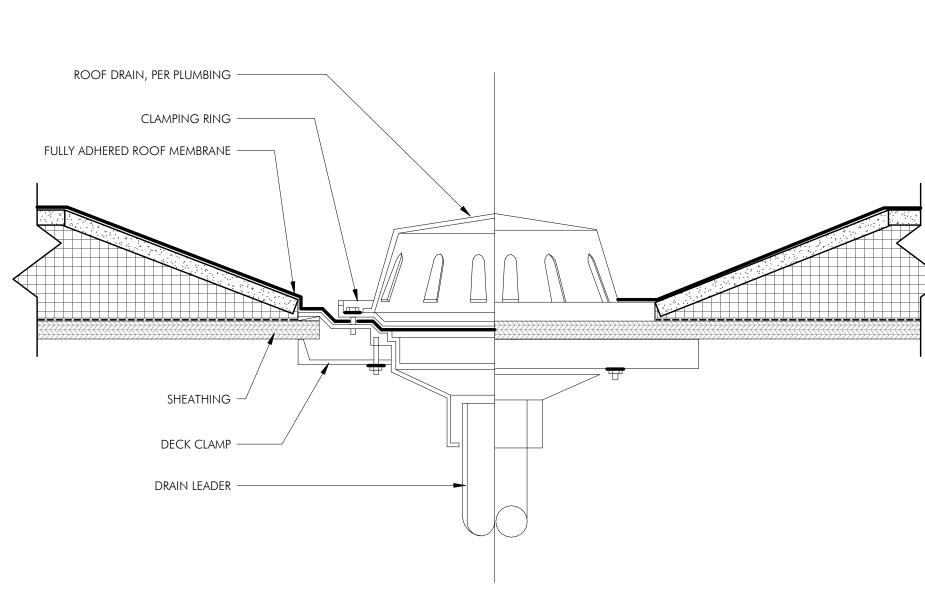


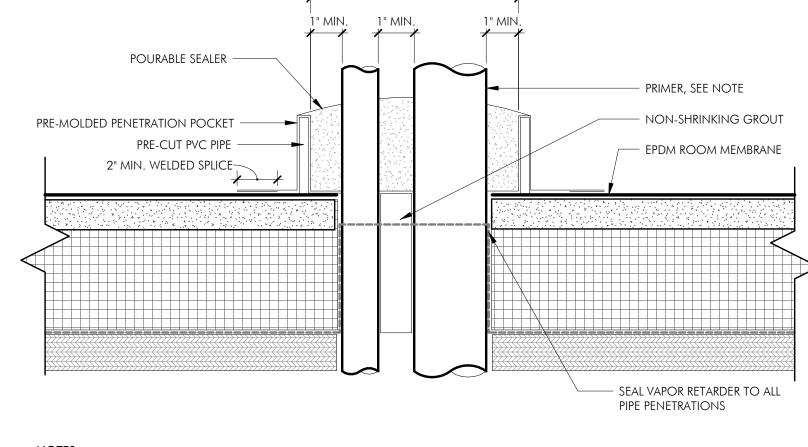
FT 2X4 FRAMING & BLOCKING

ELEC SHUT-OFF BOX

1' - 4 1/2"

2'-4 1/2" LINE OF TOWER CAP ABOVE; REFER TO SECTION DETAIL



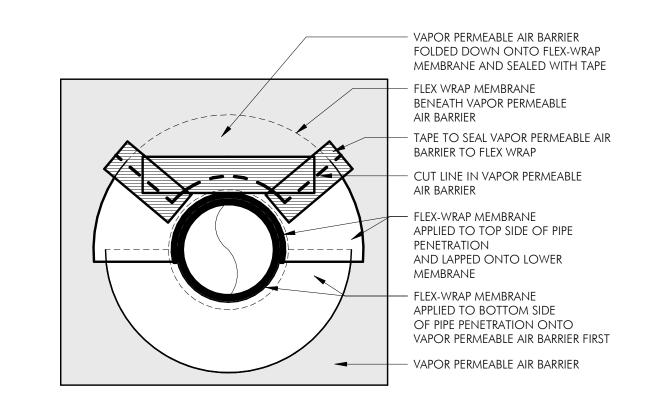


NOTES: 1. REFER TO SPECIFICATIONS 2. POURABLE SEALER MOUNTED TO SHED WATER (MIN. DEPTH OF 2"), REMAINDER OF POCKET MAY BE FILLED WITH A NON-SHRINKING GROUT. 3. DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180 DEGREES FAHRENHEIT. REFER TO MANUFACTURER RECOMMENDATIONS. 4. IF FIELD MEMBRANE IS CUT FOR INSTALLATION, THE MEMBRANE MUST BE REPAIRED WITH MEMBRANE PRIOR TO INSTALLATION OF THE 5. MEMBRANE MUST BE INSTALLED WITHIN 1/2" OF PENETRATION.

3 MULTIPLE PENETRATION POCKET AT ROOF

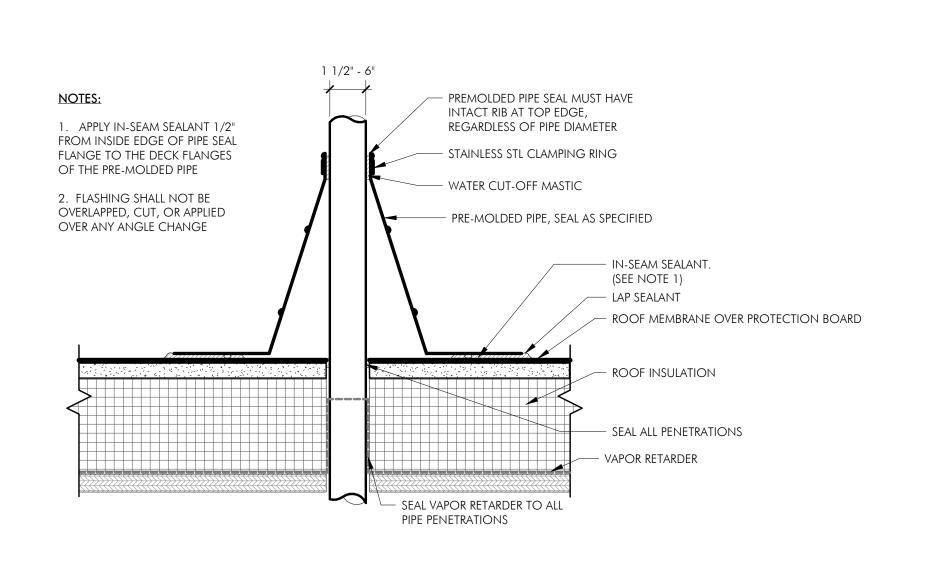
6" = 1'-0"

6. PRIMER REQUIRED ON PENETRATIONS AND MEMBRANE INSIDE OF PENETRATION POCKET.



2 TYPICAL VENT PENETRATION FOR DRYER, TOILET EXHAUST, AND HW HEATER VENTS

3" = 1'-0"



BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

OWNER

CONSULTANTS COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474 STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

**NSTRUC** 

REVISIONS

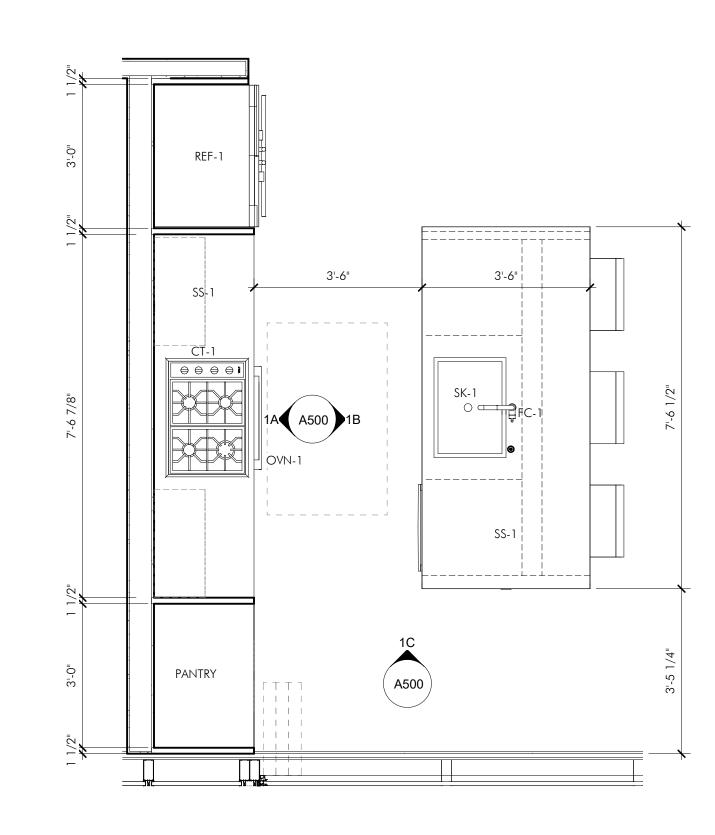


DRAWING INFORMATION PROJECT #: 20020

DRAWING TITLE ROOF DETAILS

DRAWING NUMBER

A431

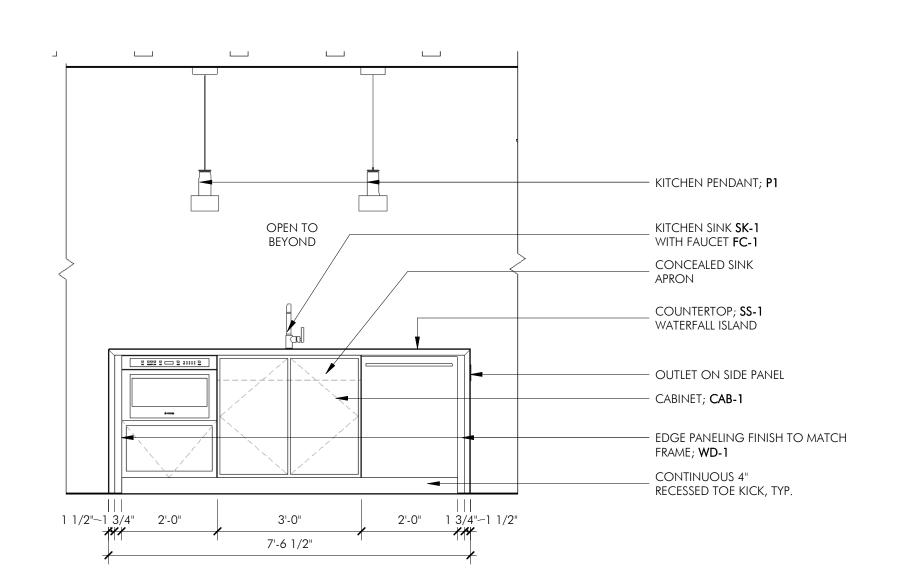


2 UNIT 1 - KITCHEN TYPE 1 - ENLARGED PLAN

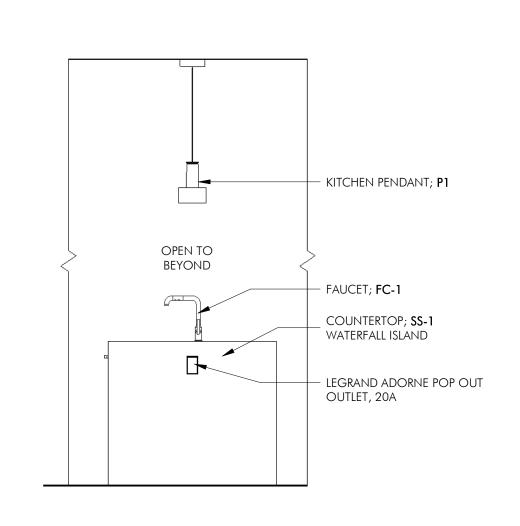
1/2" = 1'-0"

— PTD GWB SOFFIT BLUM HINGE PUSH LATCH, TYP. - WOOD SHROUD; **WD-2** SLIDE OUT HOOD; **HD-1** - UNDER CAB LIGHT; **UC-1** 1'-6" MIN. - BACKSPLASH; **SS-2** - COUNTERTOP; **SS-1** - LOWER CABINET; **CAB-1** WALL OVEN; OV-1 CONTINUOUS RECESSED TOE KICK, TYP.

1A UNIT 1 - KITCHEN TYPE 1 - ELEVATION A



1B UNIT 1 - KITCHEN TYPE 1 - ELEVATION B



1C UNIT 1 - KITCHEN TYPE 1 - ELEVATION C

1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.

2. DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.

3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.

4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL. 5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.

6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.

7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.

8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.

9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK. 10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.

12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.

13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.

14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET. 15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.

16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O 17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN

RCPS; REFER TO TAGS FOR CEILING FINISH, TYP.

18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.

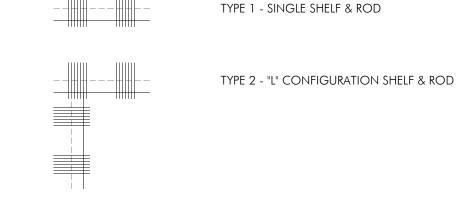
19. ALL INTERIOR UNIT WALLS ARE **M010** U.O.N. 20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION

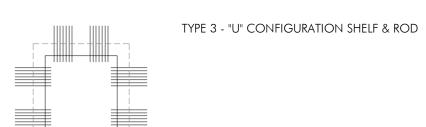
21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N. 22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS

23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS 24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE

25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15" 26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.

27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80"AFF AND 42"AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.





28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.

BOSTON, MA 02118

www.embarcdesign.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

ONSTRUCTION

ISSUEI

33 A STREET SOUTH BOSTON, MA

REVISIONS

MARK ISSUE DATE

DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE

ELEVS

DRAWING NUMBER

UNIT 1 ENLARGED

PLAN & KITCHEN

CONSULTANTS

617-506-1474

DORCHESTER, MA 02125

100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404

BOSTON, MA 02210 17-938-3349

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** 

831 BEACON ST. #115 NEWTON CENTRE, MA 02459

617-446-3114

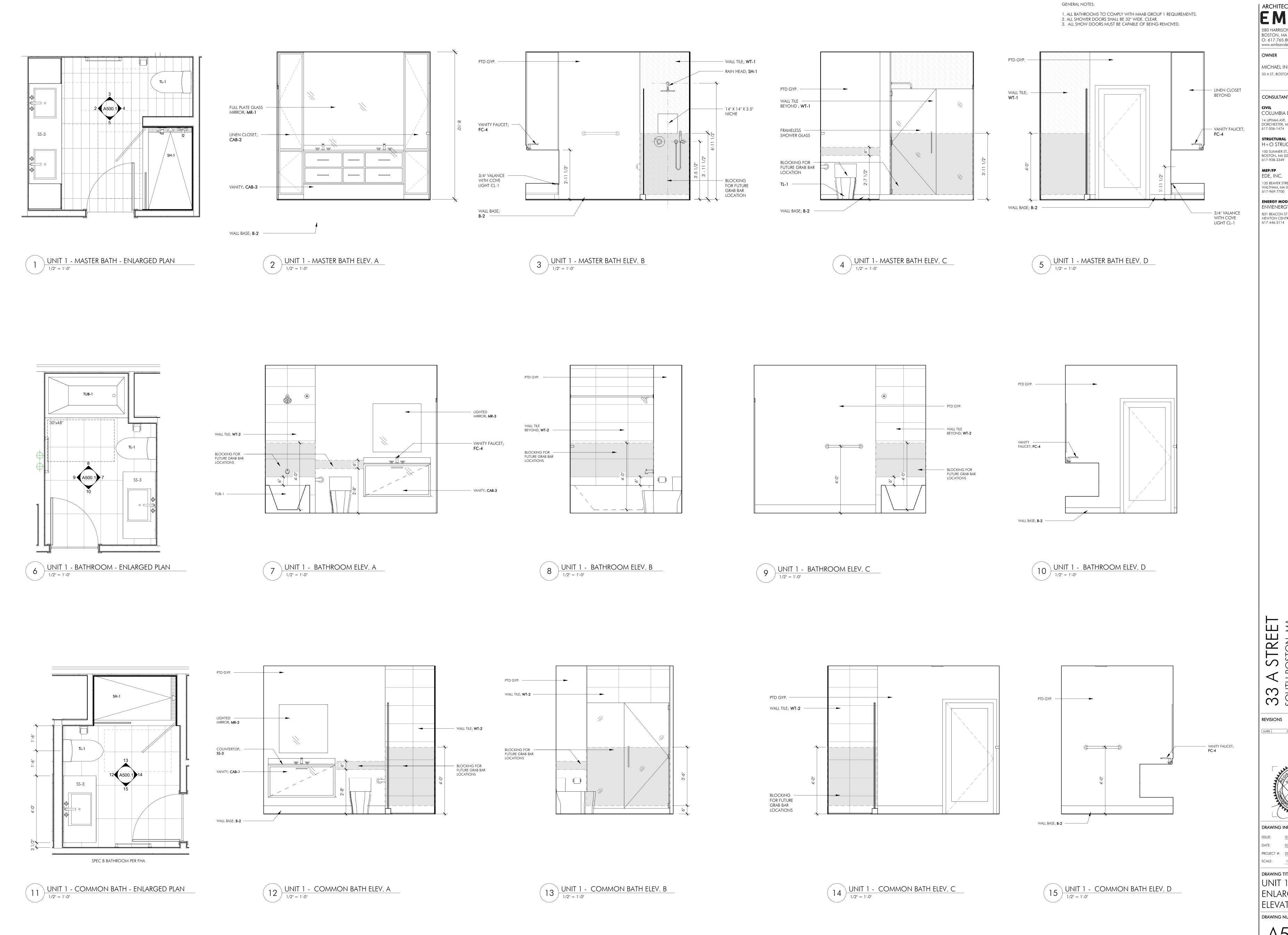
ENVIENERGY STUDIO

MEP/FP

EDE, INC.

OWNER

O: 617.765.8000



| ARCHITECT 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

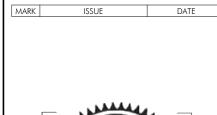
**ENERGY MODELING** ENVIENERGY STUDIO

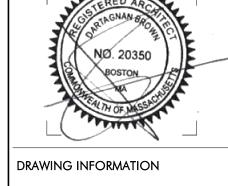
831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

33 A STREET SOUTH BOSTON, MA

ISSUED REVISIONS





ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020 SCALE: 1/2" = 1'-0"

DRAWING TITLE UNIT 1 ENLARGED BATH

ELEVATIONS DRAWING NUMBER

9' - 4 3/4" \_\_\_\_\_ 3'-6"

2 UNIT 2&6 - KITCHEN TYPE 2 - ENLARGED PLAN

1/2" = 1'-0"

- PTD GWB SOFFIT - SLIDE OUT HOOD; **HD-1** - UNDER CAB LIGHT; **UC-1** - BACKSPLASH; **SS-1** - COUNTERTOP; \$\$-2 - LOWER CABINET; **CAB-1** WALL OVEN; **OV-1** CONTINUOUS RECESSED TOE KICK, TYP. 1'-6" 2'-6" 2'-3"

2A UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION A

2B UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION B

3'-0" 1 1/2"

1'-6" MIN.

PTD GWB SOFFIT -

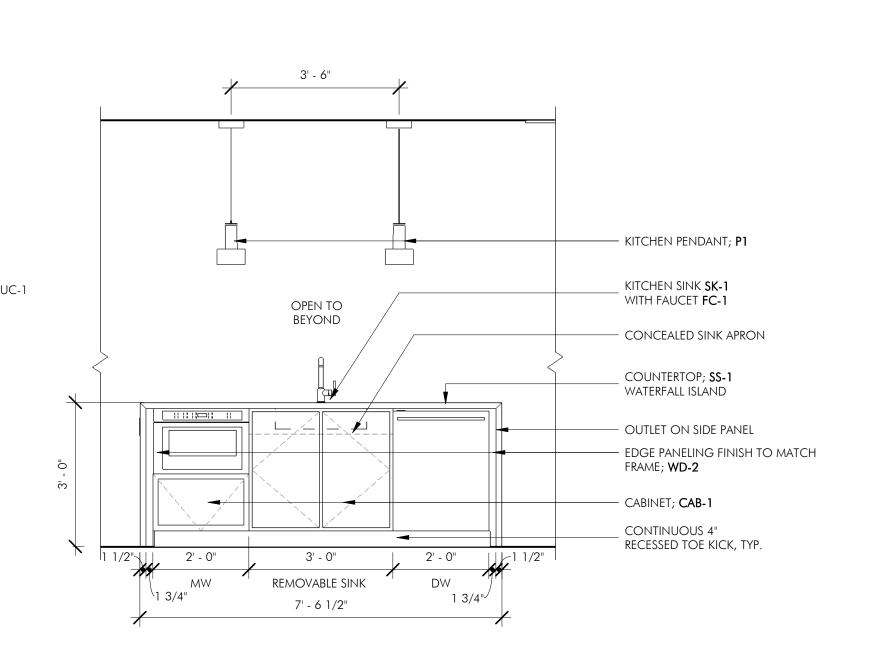
BLUM HINGE PUSH LATCH, TYP. ———

WOOD SHROUD; WD-1 -

BACKSPLASH; SS-1

LOWER CABINET; CAB-1 —

CONTINUOUS RECESSED TOE KICK, TYP.



2C UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION C

1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED

2. DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.

3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.

4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL. 5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE

BEARING WALL LOCATIONS AND DETAILS. 6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.

7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.

8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING. 9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE

INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK. 10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. 11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.

12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.

13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.

14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.

15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.

16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O 17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN

RCPS; REFER TO TAGS FOR CEILING FINISH, TYP. 18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING .

19. ALL INTERIOR UNIT WALLS ARE **M010** U.O.N. 20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION

21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.

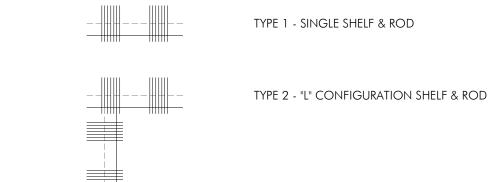
22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS

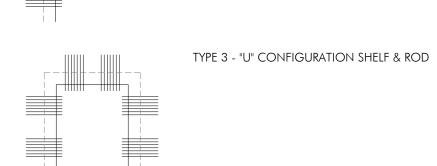
23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS 24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE

25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"

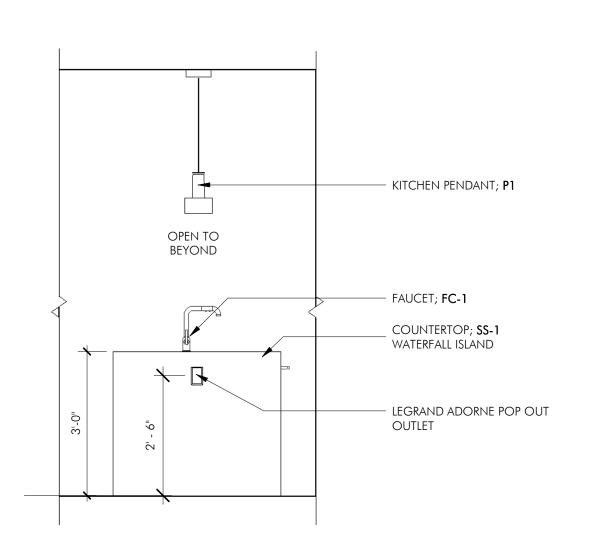
26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.

27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80"AFF AND 42"AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DELP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.





28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.



2D UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION D

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125 617-506-1474

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459

ONSTRUCTION 33 A STREET SOUTH BOSTON, MA ISSUEI

MARK ISSUE DATE

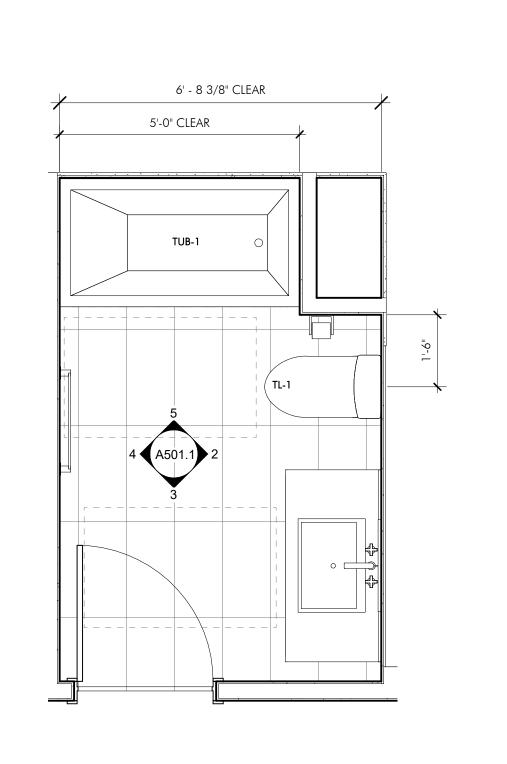
REVISIONS

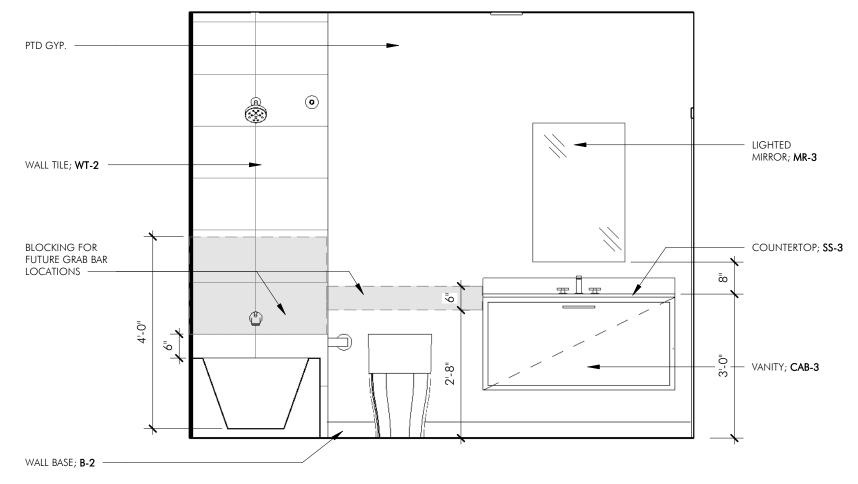
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

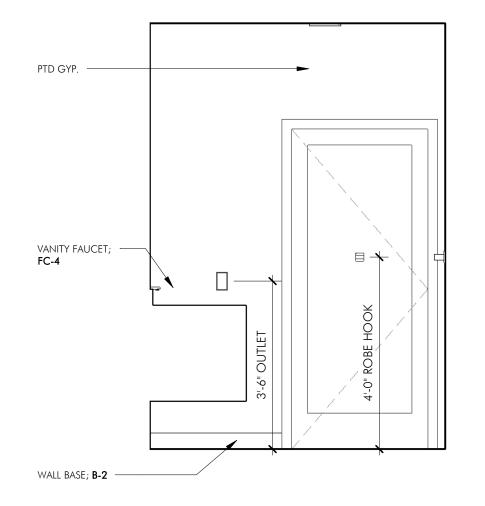
PROJECT #: 20020 DRAWING TITLE

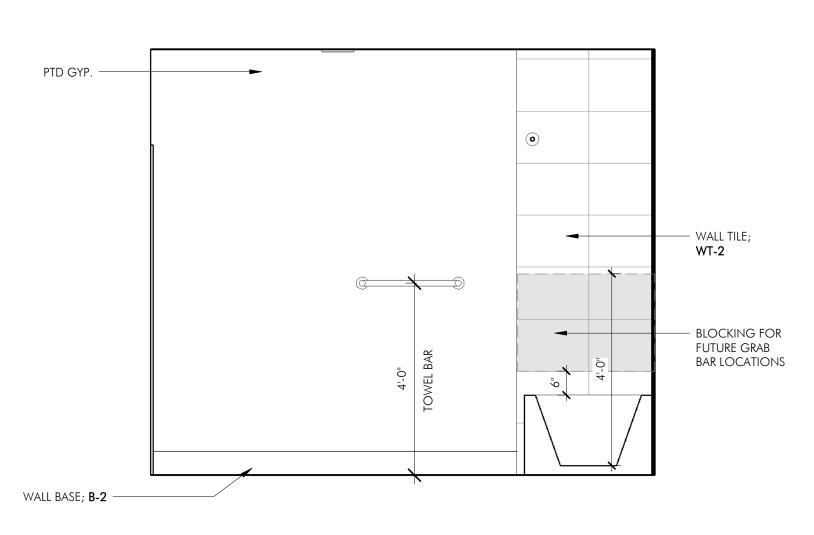
UNIT 2&6 ENLARGED PLAN & KITCHEN ELEVS

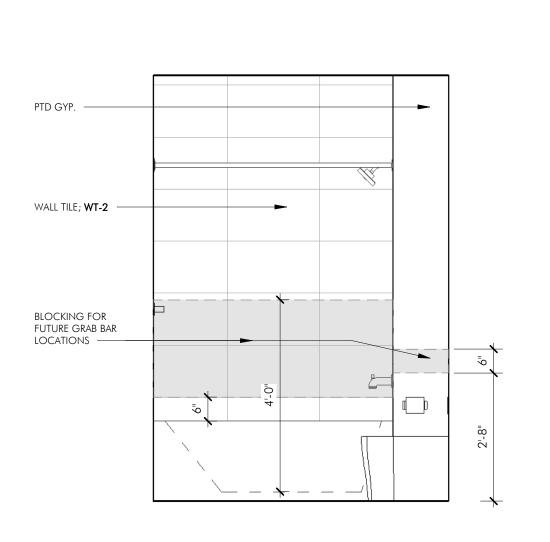
A501











6 UNIT 2&6 - COMMON BATH - ENLARGED PLAN

2 UNIT 2&6 - COMMON BATH ELEV. A

3 UNIT 2&6 - COMMON BATH ELEV. B 1/2" = 1'-0"

4 UNIT 2&6 - COMMON BATH ELEV. C

5 UNIT 2&6 - COMMON BATH ELEV. D

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION 33 A STREET SOUTH BOSTON, MA ISSUED

REVISIONS

DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

PROJECT #: 20020 SCALE: 1/2" = 1'-0" DRAWING TITLE

UNIT 2&6 ENLARGED BATH ELEVATIONS

DRAWING NUMBER A501.7

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP DORCHESTER, MA 02125 617-506-1474

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

831 BEACON ST. #115

617-446-3114

NEWTON CENTRE, MA 02459

WALTHAM, MA 02452 617-969-7700 RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER. **ENERGY MODELING** ENVIENERGY STUDIO 12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND

WALK-IN PANTRY TO BE RECEIVE 5 SHELVES. 13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.

FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED

4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY

5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE

7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC

8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH

9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE

10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS

MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS,

6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.

CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A

3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT

DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.

AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.

INFORMATION.

BEARING WALL LOCATIONS AND DETAILS.

m.a.a.b requirements and details.

14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.

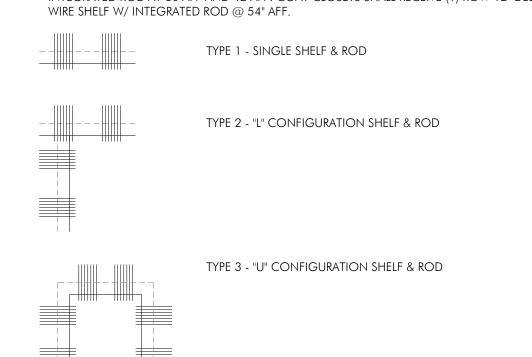
SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.

INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.

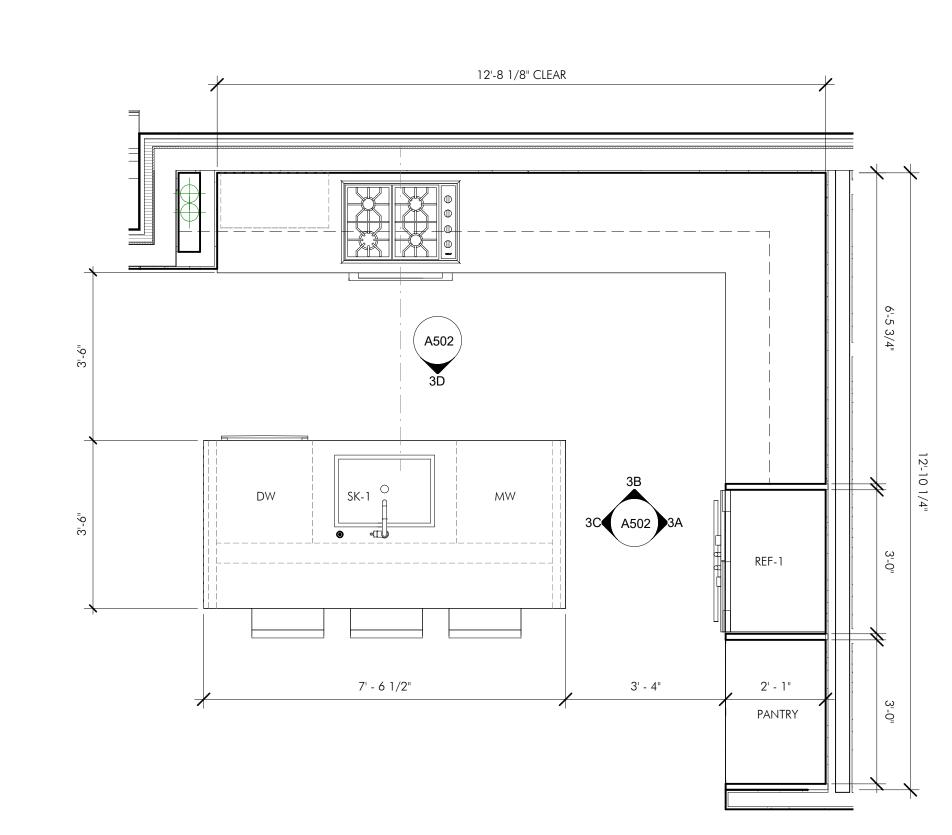
- 15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER
- 16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O 17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN
- RCPS; REFER TO TAGS FOR CEILING FINISH, TYP. 18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.
- 19. ALL INTERIOR UNIT WALLS ARE **M010** U.O.N.
- 20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION 21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N. 22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS
- 23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS 24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE

25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15" 26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.

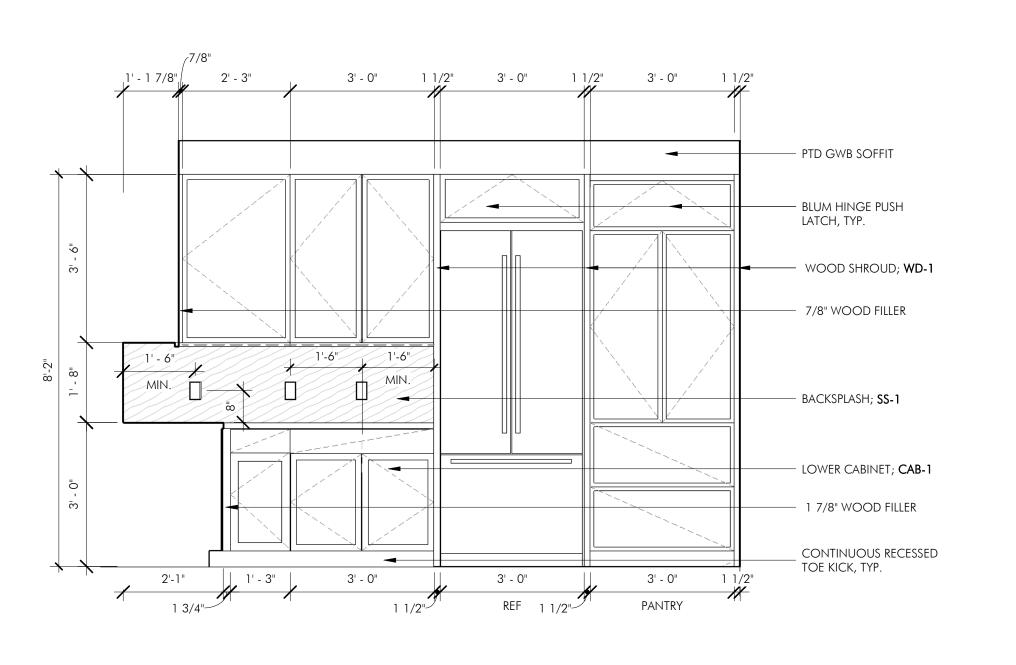
27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80"AFF AND 42"AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP



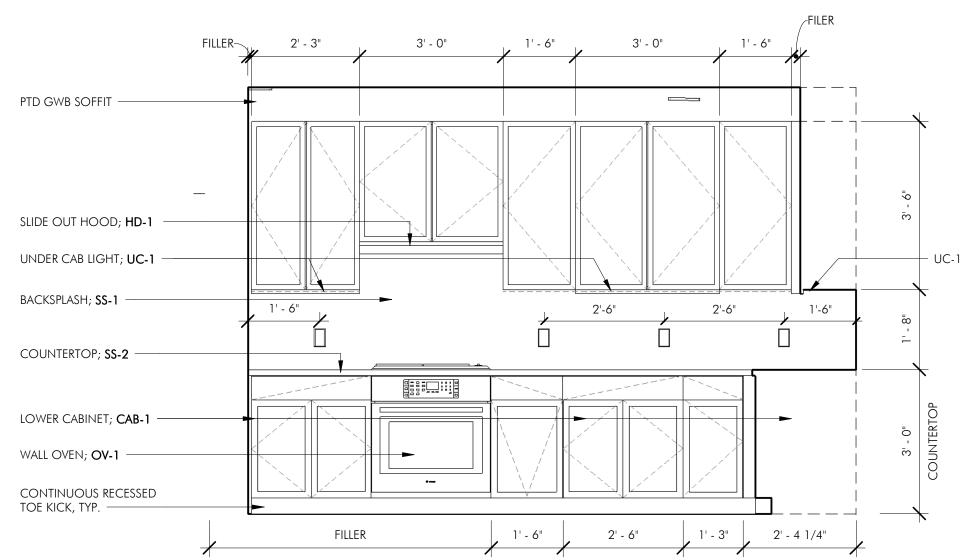
28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP



2 UNIT 3&7 - KITCHEN TYPE 3 - ENLARGED PLAN

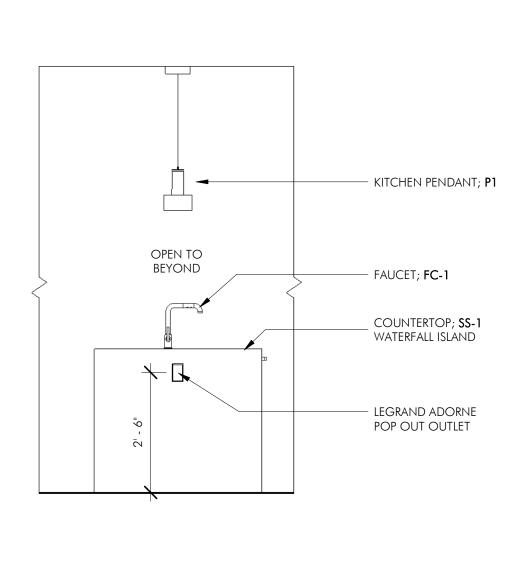


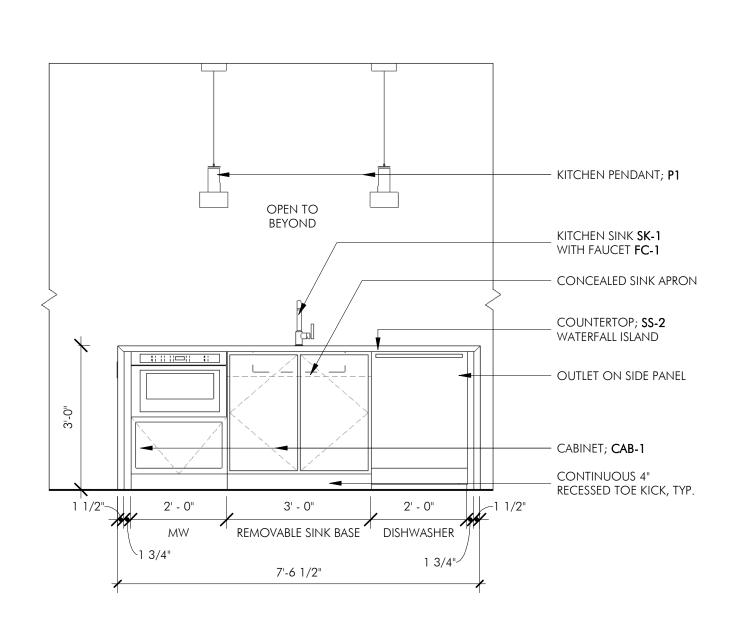
\_\_ ALIGN \_\_



BATHROOM

- ALIGN





3A UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION A

EWA1.2

EWA4.1

3B UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION B

3C UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION C

3D UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION D

MARK ISSUE DATE

ONSTRUCTION

ISSUEI

DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

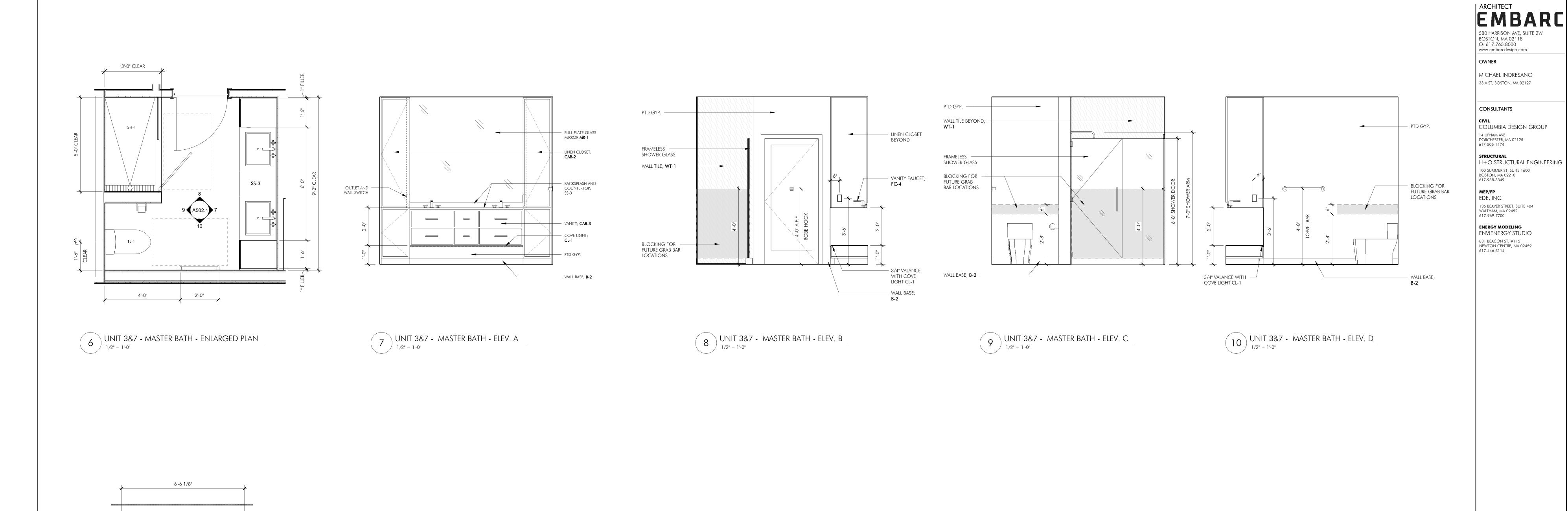
33 A STREET SOUTH BOSTON, MA

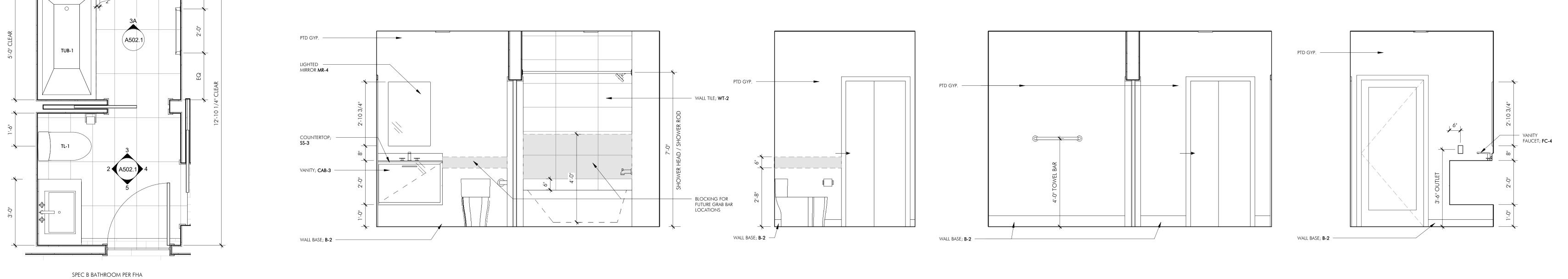
REVISIONS

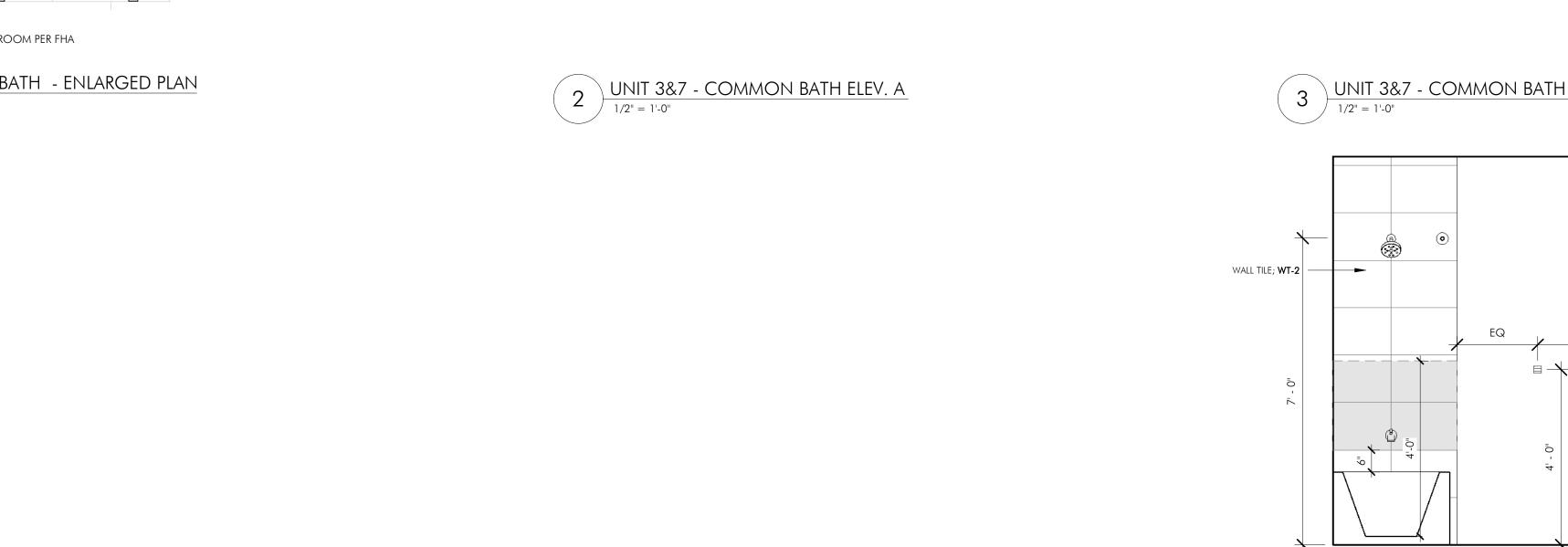
PROJECT #: 20020

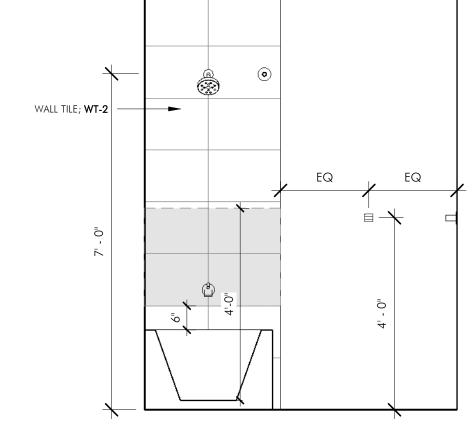
DRAWING TITLE UNIT 3&7 ENLARGED PLAN & KITCHEN ELEVS

A502



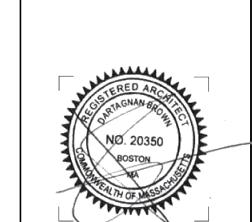






 $\begin{array}{c} \hline \text{3A} & \text{UNIT 3\&7 - COMMON BATH ELEV. E} \\ \hline \text{1/2"} = \text{1'-0"} \\ \hline \end{array}$ 

5 UNIT 3&7 - COMMON BATH ELEV. D



33 A STREET SOUTH BOSTON, MA

REVISIONS

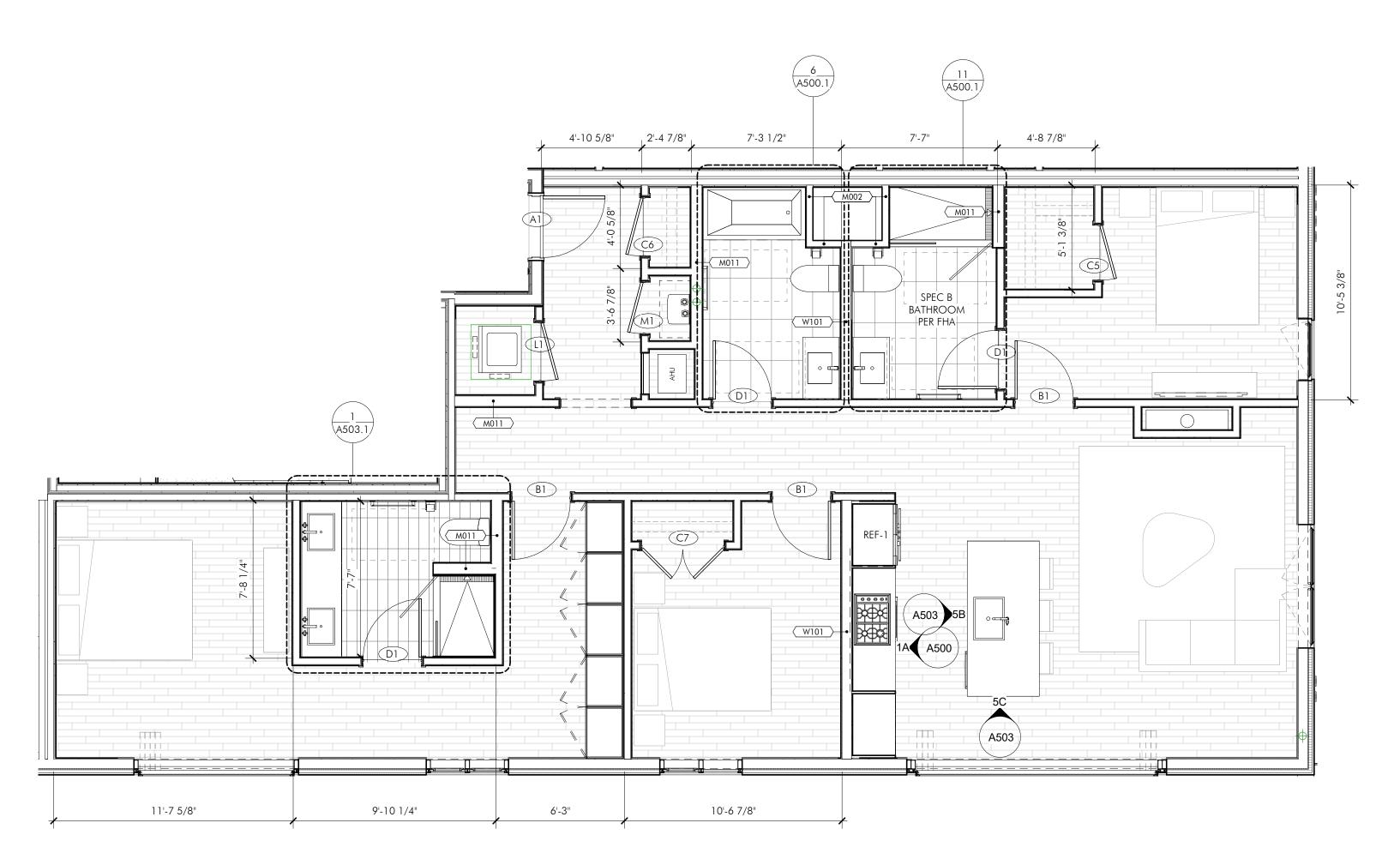
ONSTRUCTION

ISSUED

DRAWING INFORMATION PROJECT #: 20020

SCALE: 1/2" = 1'-0" DRAWING TITLE UNIT 3&7 ENLARGED BATH ELEVATIONS

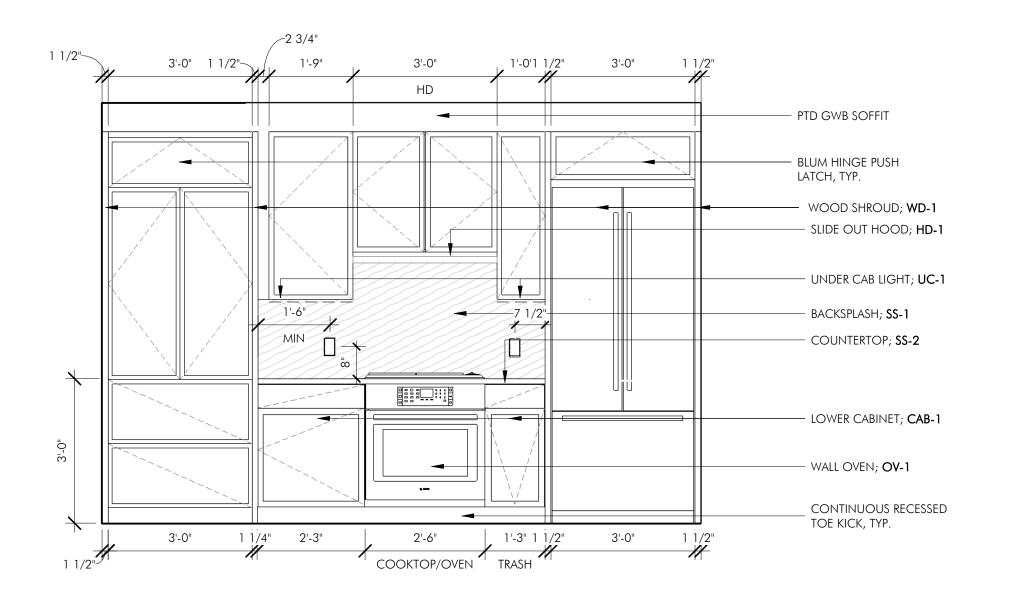
DRAWING NUMBER A502.1

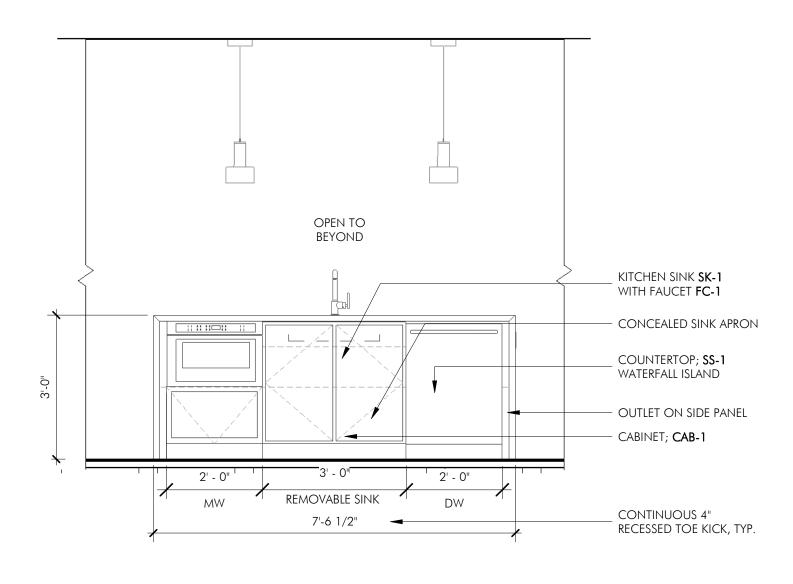


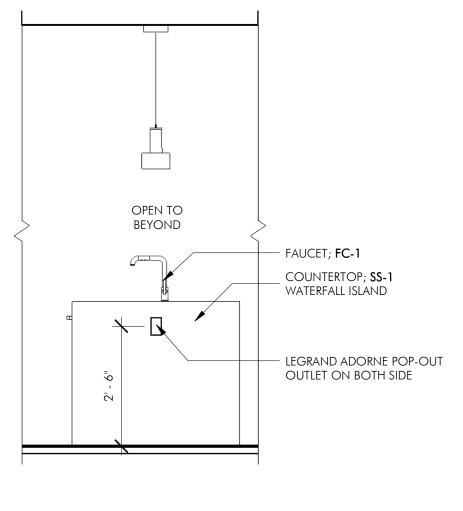
1 UNIT 5 - 3 BR

2 KITCHEN TYPE 5 - ENLARGED PLAN

1/2" = 1'-0"







1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.

2. DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.

3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT

4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.

5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.

6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.

7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.

8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.

9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK. 10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. 11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.

12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.

13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.

14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.

15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.

16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O

17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPS; REFER TO TAGS FOR CEILING FINISH, TYP.

18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.

19. ALL INTERIOR UNIT WALLS ARE **M010** U.O.N.

20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION 21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.

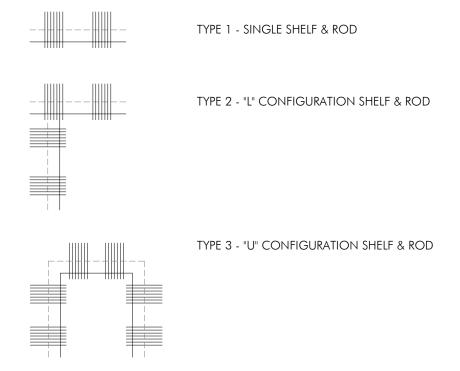
22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS

23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS 24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE

25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"

26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.

27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80"AFF AND 42"AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.



28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.

BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

H+O STRUCTURAL ENGINEERING

CONSULTANTS

DORCHESTER, MA 02125 617-506-1474

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

135 BEAVER STREET, SUITE 404

EDE, INC.

WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459

617-446-3114

OWNER

ONSTRUCTION 33 A STREET SOUTH BOSTON, MA ISSUEI

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

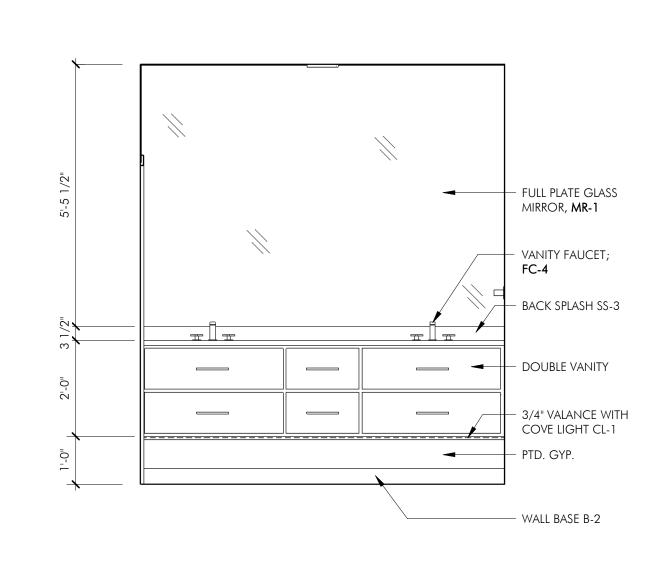
DRAWING TITLE

PROJECT #: 20020

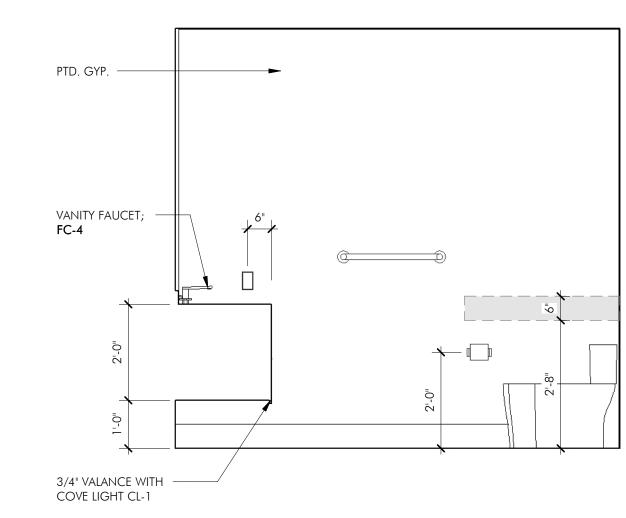
UNIT 5 ENLARGED PLAN & KITCHEN ELEVS

A503

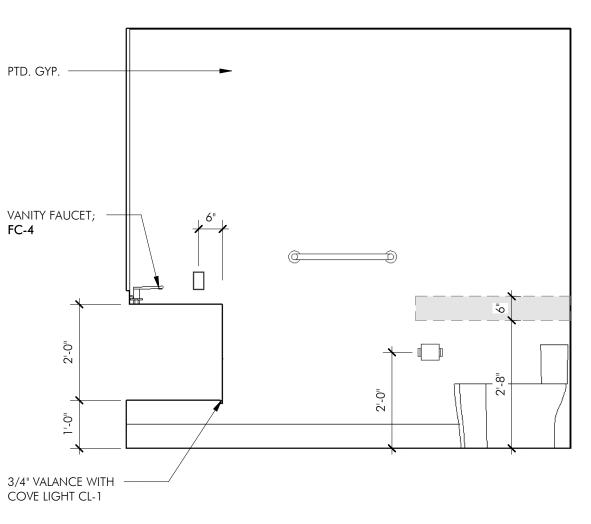
1 UNIT 5 - MASTER BATH - ENLARGED PLAN
1/2" = 1'-0"

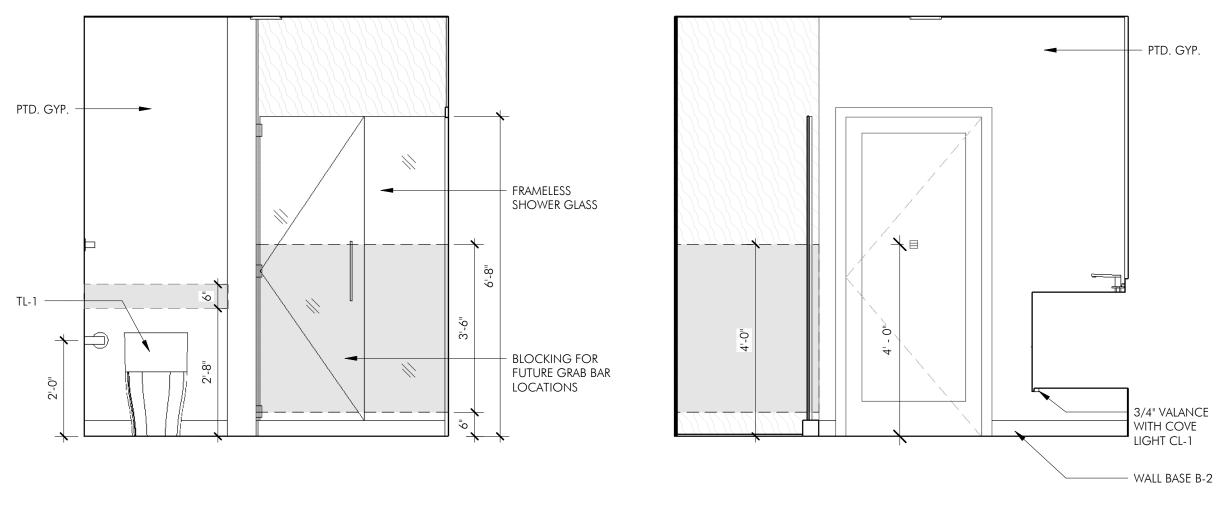


2 UNIT 5 - MASTER BATH - ELEVATION A



3 UNIT 5 - MASTER BATH - ELEVATION B





4 UNIT 5 - MASTER BATH - ELEVATION C 5 UNIT 5 - MASTER BATH - ELEVATION D

ARCHITECT EMBARC 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u> PROJECT #: 20020

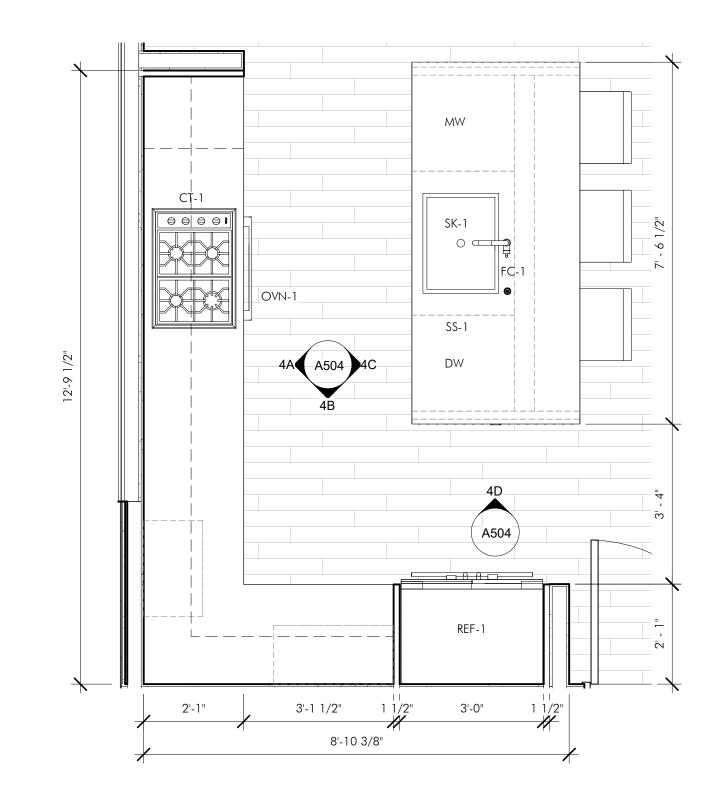
DRAWING TITLE UNIT 5

ENLARGED BATH ELEVATIONS DRAWING NUMBER

A503.1

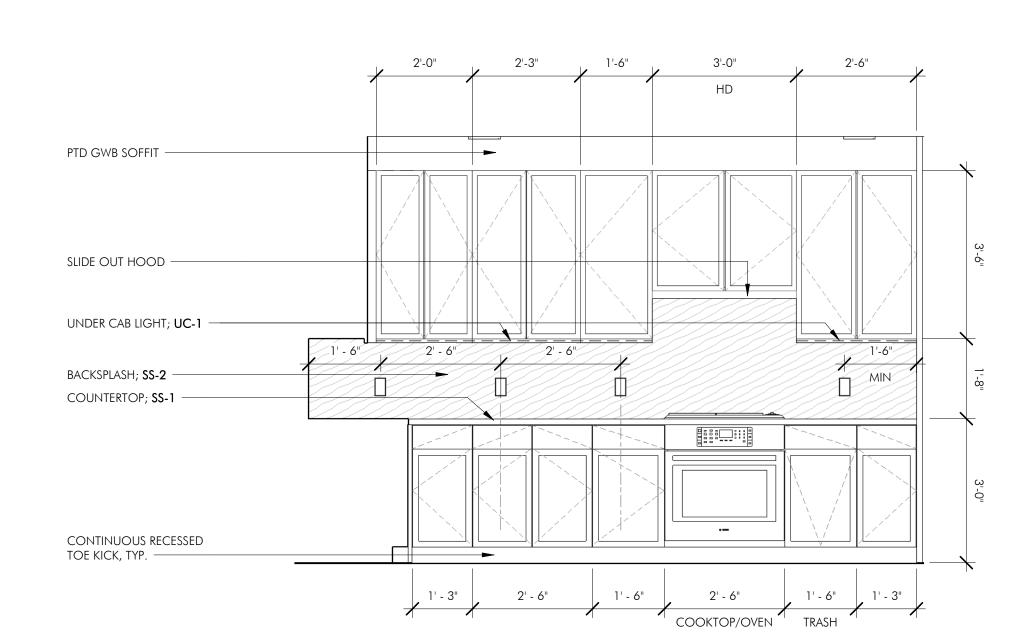
12'-1" A504.1) 6'-7 3/4" 2'-4 1/4"

12'-9"



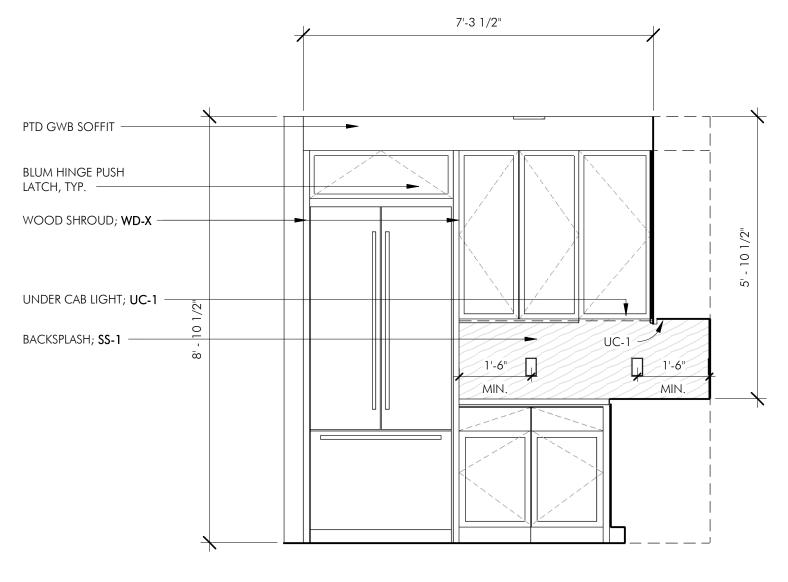
2 UNIT 4 - KITCHEN TYPE 4 - ENLARGED PLAN

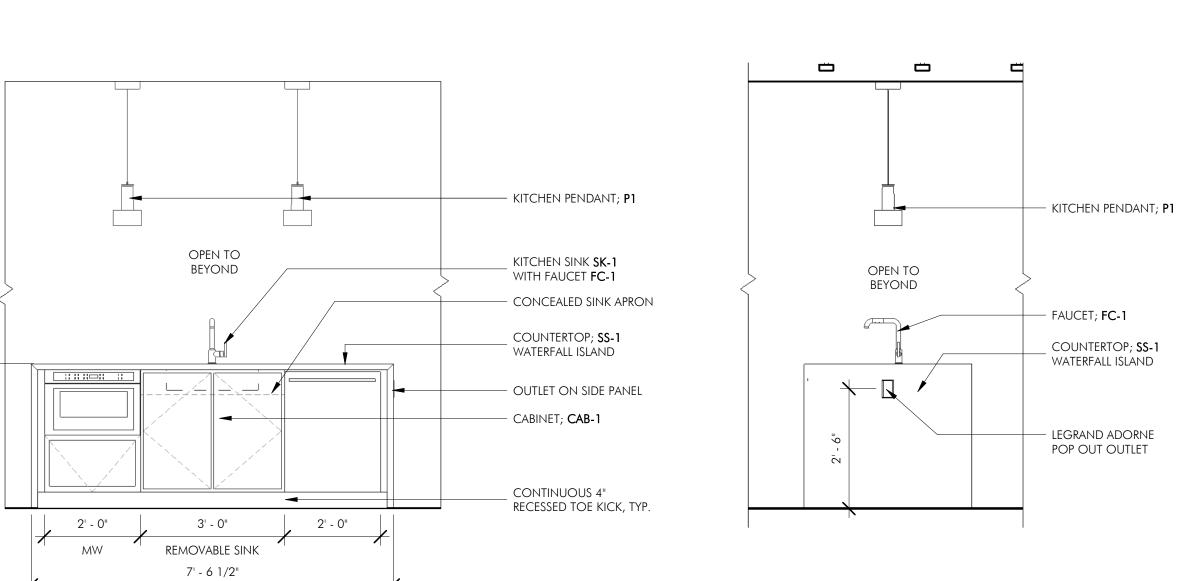
1/2" = 1'-0"



8'-7 3/8"

1 UNIT 4&8 - 3+ BR





4A UNIT 4 - KITCHEN TYPE 4 - ELEVATION A

4B UNIT 4 - KITCHEN TYPE 4 - ELEVATION B

4C UNIT 4 - KITCHEN TYPE 4 - ELEVATION C

4D UNIT 4 - KITCHEN TYPE 4 - ELEVATION D

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

CONSULTANTS

OWNER

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> CONSTRUCTION FOR ISSUED

- much

33 A STREET SOUTH BOSTON, MA

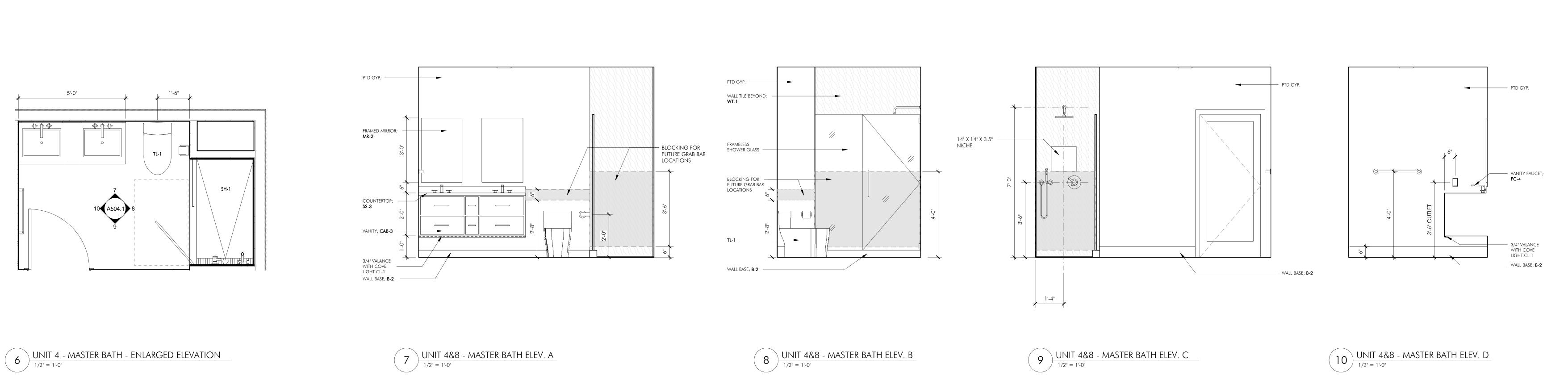
REVISIONS

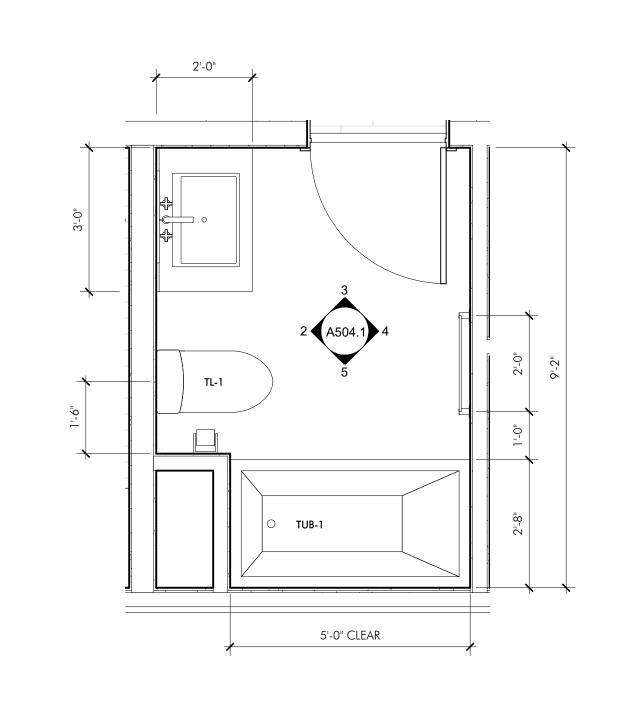
MARK ISSUE DATE

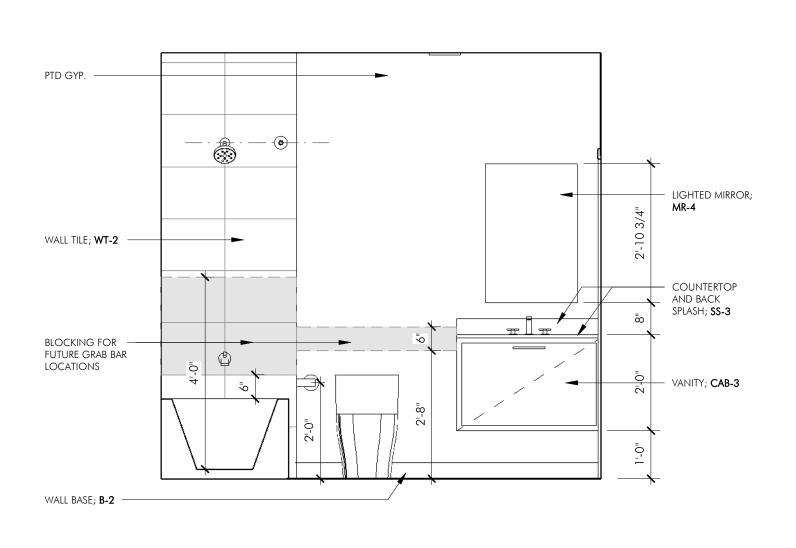
DRAWING INFORMATION

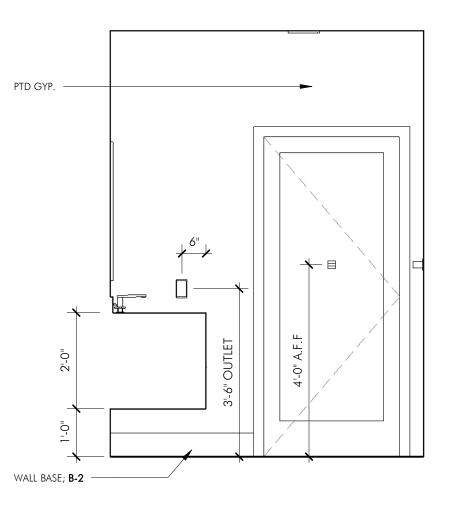
ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

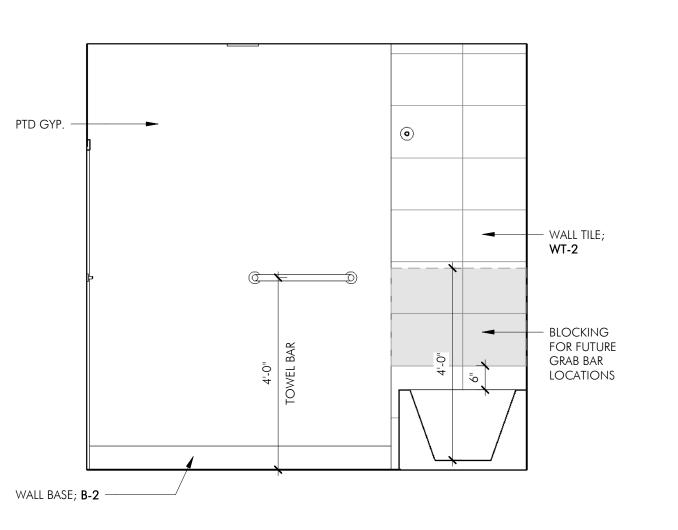
DRAWING TITLE UNIT 4&8 ENLARGED PLAN & KITCHEN ELEVS

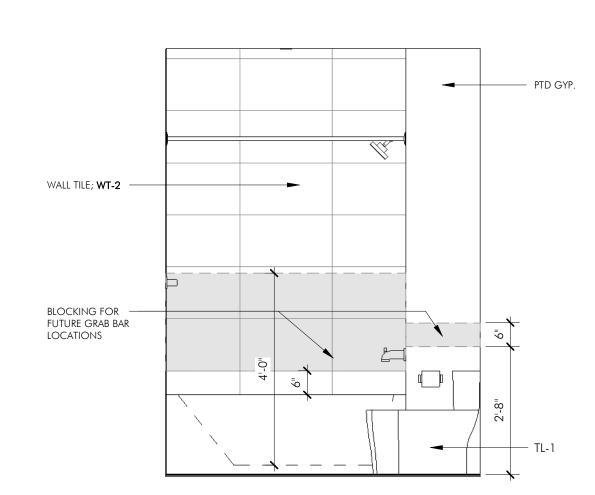












1 UNIT 4 - COMMON BATH - ENLARGED ELEVATION

2 UNIT 4&8 - COMMON BATH ELEV. A

3 UNIT 4&8 - COMMON BATH ELEV. B

4 UNIT 4&8 - COMMON BATH ELEV. C

5 UNIT 4&8 - COMMON BATH ELEV. D

ARCHITECT EMBARC 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUED

REVISIONS

33 A STREET SOUTH BOSTON, MA



DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

SCALE: 1/2" = 1'-0"

DRAWING TITLE UNIT 4&8 ENLARGED BATH ELEVATIONS

DRAWING NUMBER A504.1

COLUMBIA DESIGN GROUP

DORCHESTER, MA 02125

617-506-1474 H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115

NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

REVISIONS

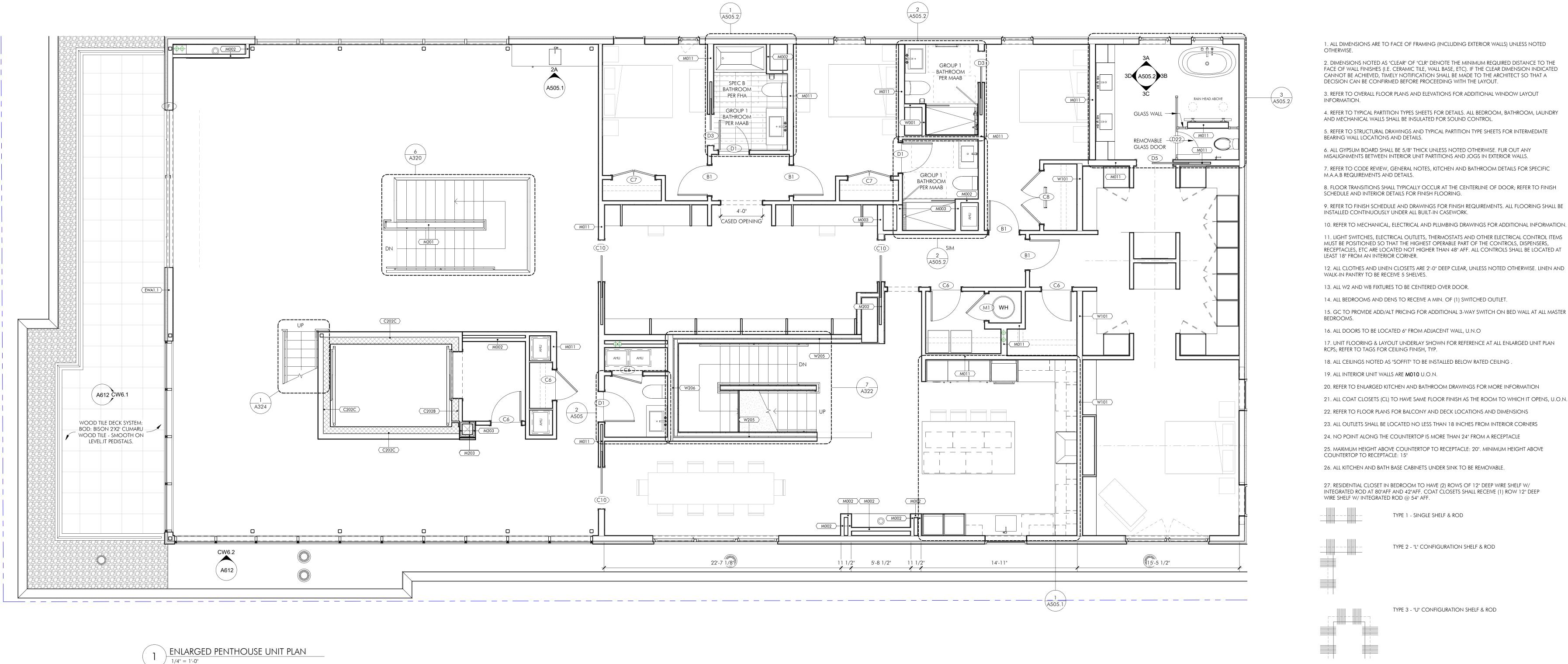
MARK ISSUE DATE

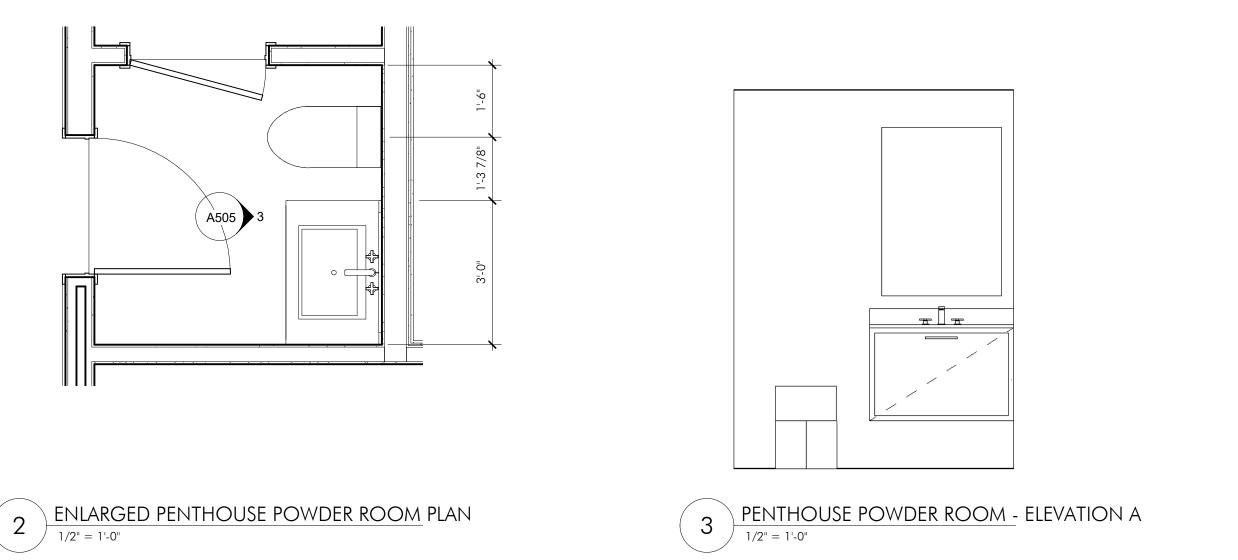


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE PENTHOUSE ENLARGED PLAN

DRAWING NUMBER





14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET. 15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER

17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN

18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.

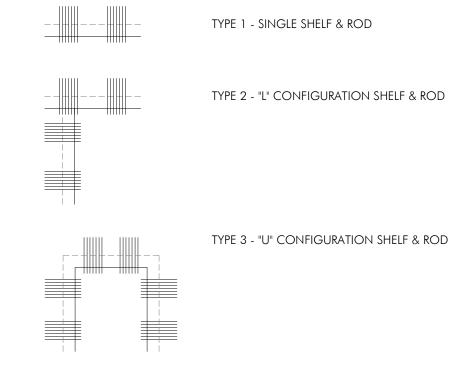
20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION

21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N. 22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS

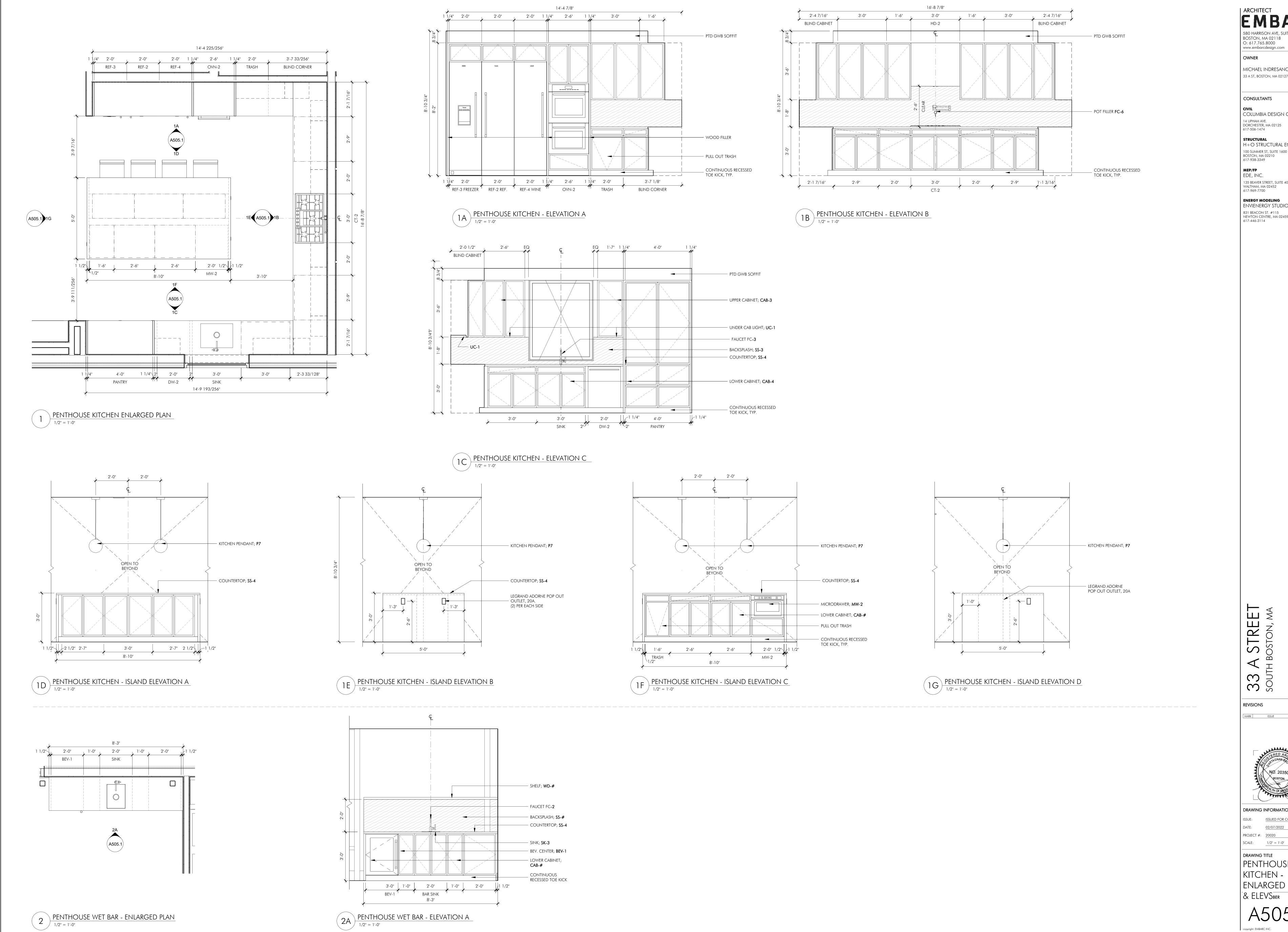
24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE

25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE

27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80"AFF AND 42"AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP



28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.



| ARCHITECT BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS CIVIL COLUMBIA DESIGN GROUP

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUC

ISSUED

33 A STREET SOUTH BOSTON, MA

REVISIONS MARK ISSUE DATE

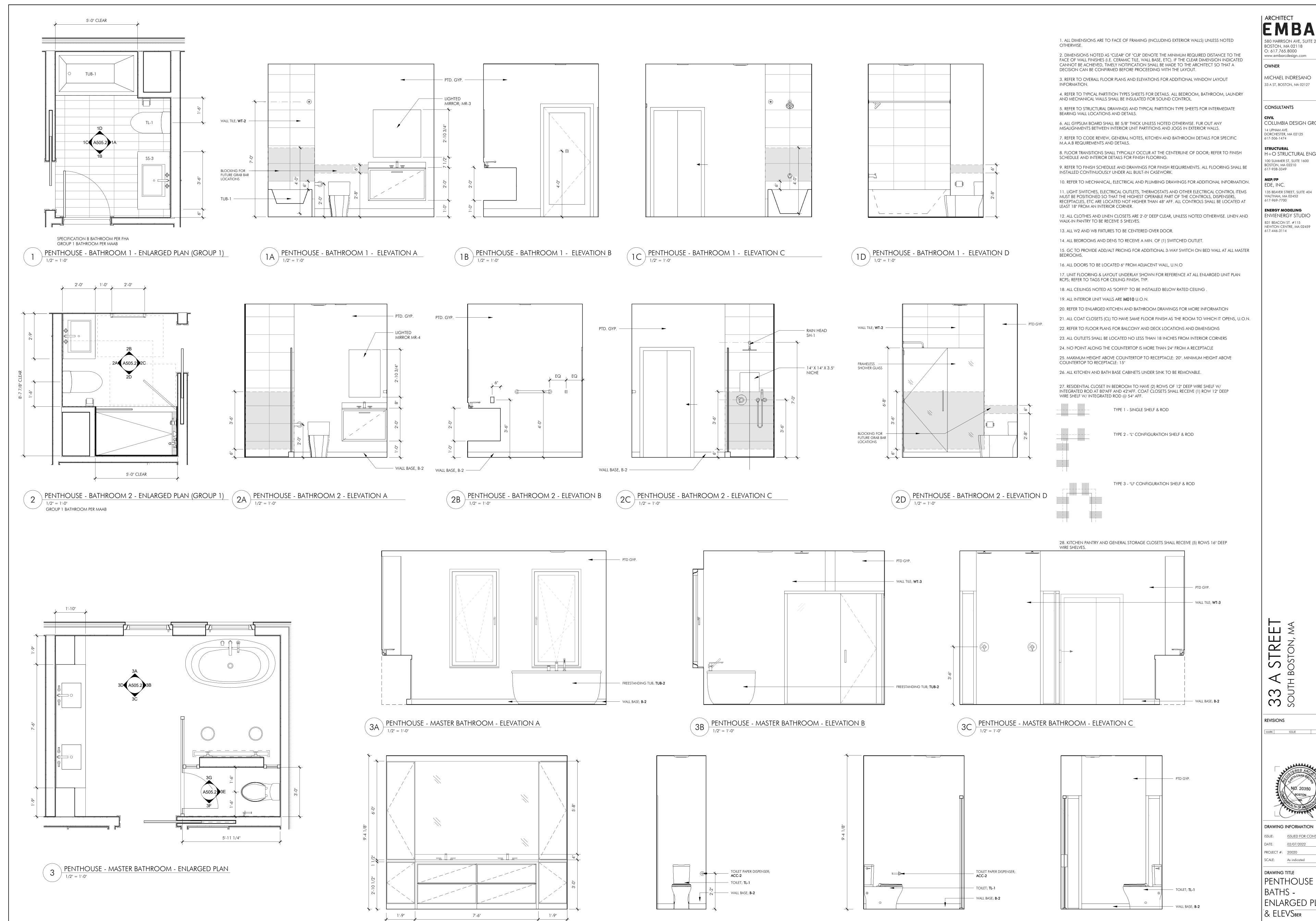


- while DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

DRAWING TITLE PENTHOUSE KITCHEN -ENLARGED PLAN

& ELEVSBER A505.1

copyright: EMBARC INC.



3E PENTHOUSE - MASTER BATHROOM - ELEVATION E

3D PENTHOUSE - MASTER BATHROOM - ELEVATION D

PENTHOUSE - MASTER BATHROOM - ELEVATION F

PENTHOUSE - MASTER BATHROOM - ELEVATION G

BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com

OWNER MICHAEL INDRESANO

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

617-938-3349 MEP/FP

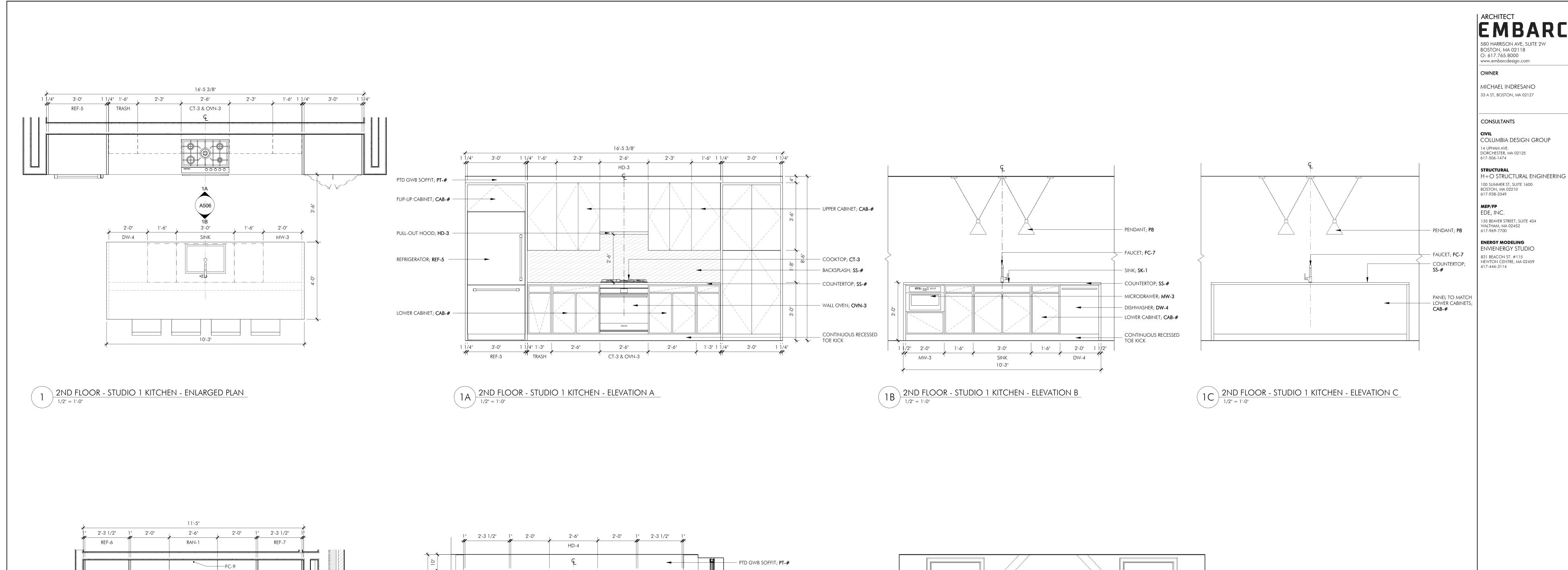


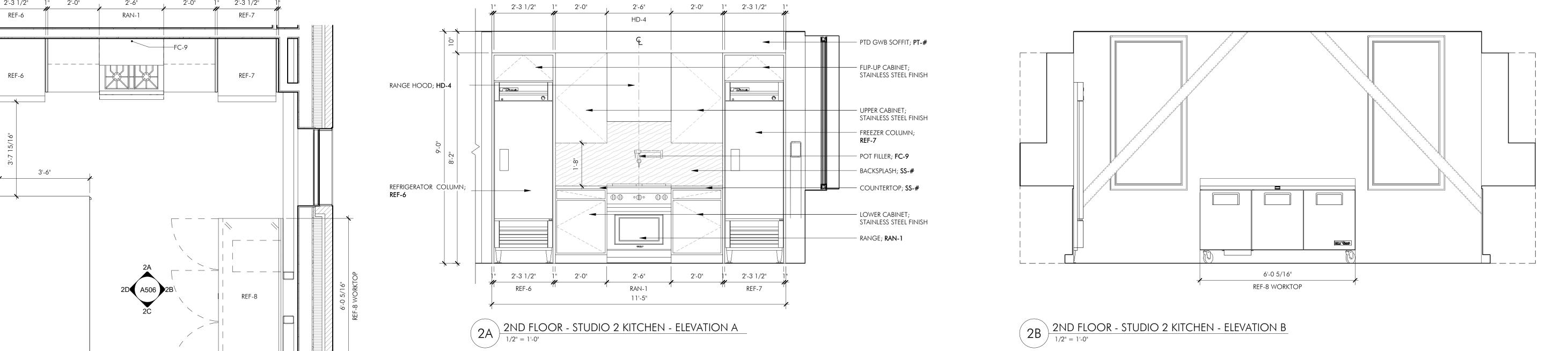
DRAWING INFORMATION PROJECT #: 20020

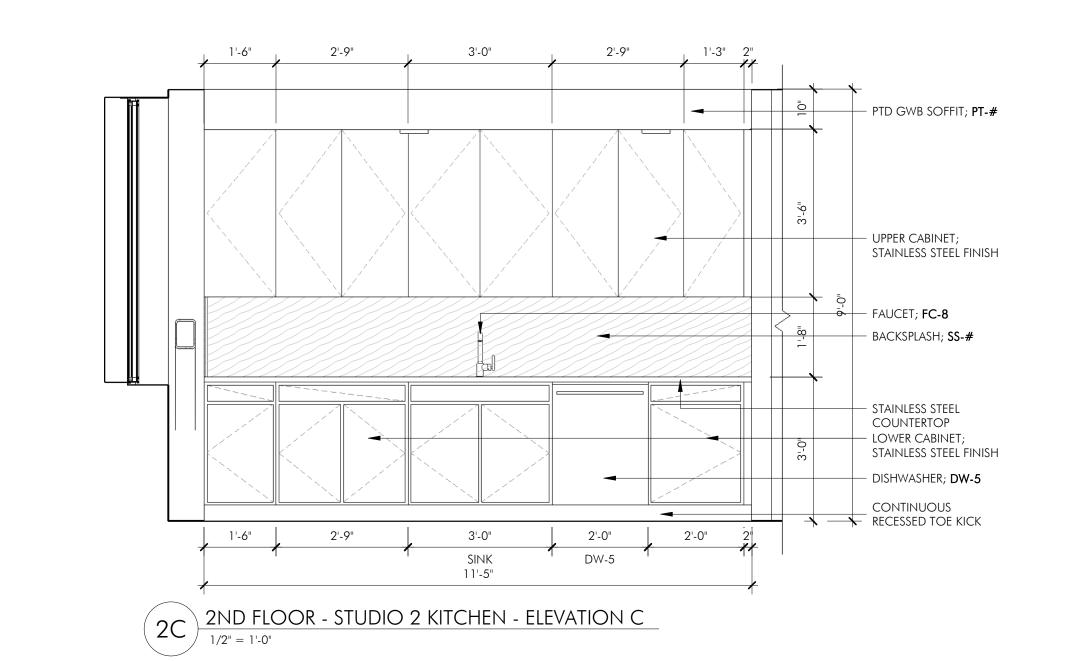
DRAWING TITLE PENTHOUSE BATHS -

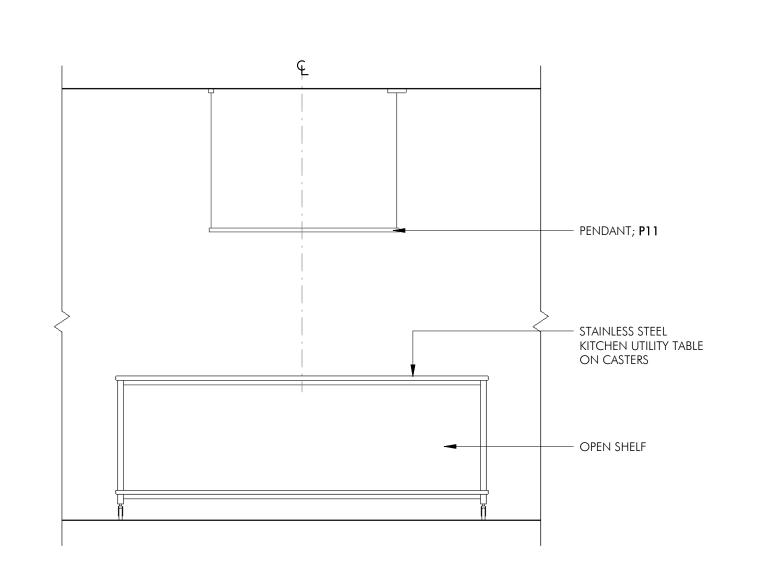
ENLARGED PLANS & ELEVSBER A505.2

copyright: EMBARC INC.









2D 2ND FLOOR - STUDIO 2 KITCHEN - ELEVATION D

ISSUED FOR CONSTRUCTION

33 A STREET SOUTH BOSTON, MA

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: 02/07/2022

PROJECT #: 20020

DRAWING TITLE
STUDIOS 1 & 2
ENLARGED PLANS
& FLEVS

& ELEVS

DRAWING NUMBER

A506

A506 copyright: EMBARC INC.

5'-0"

SK-1

SINK

11'-5"

2'-0" 2'-0" DW-5

2 2ND FLOOR - STUDIO 2 KITCHEN - ENLARGED PLAN

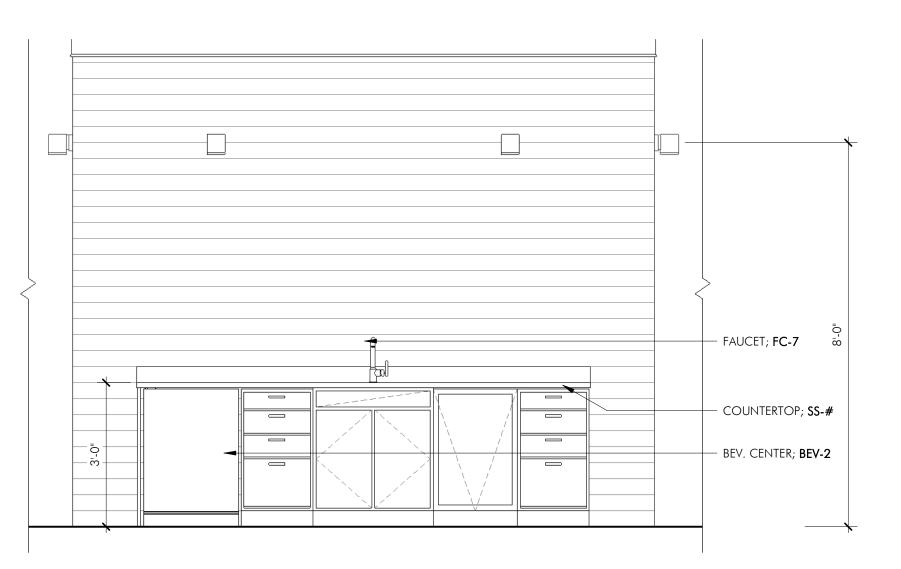
1/2" = 1'-0"

3'-1"

CLEAR

2'-9" 1'-6"





ROOF DECK GRILL - ELEVATION A

1/2" = 1'-0"



1B ROOF DECK GRILL - ELEVATION B

ARCHITECT EMBARC 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL
H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

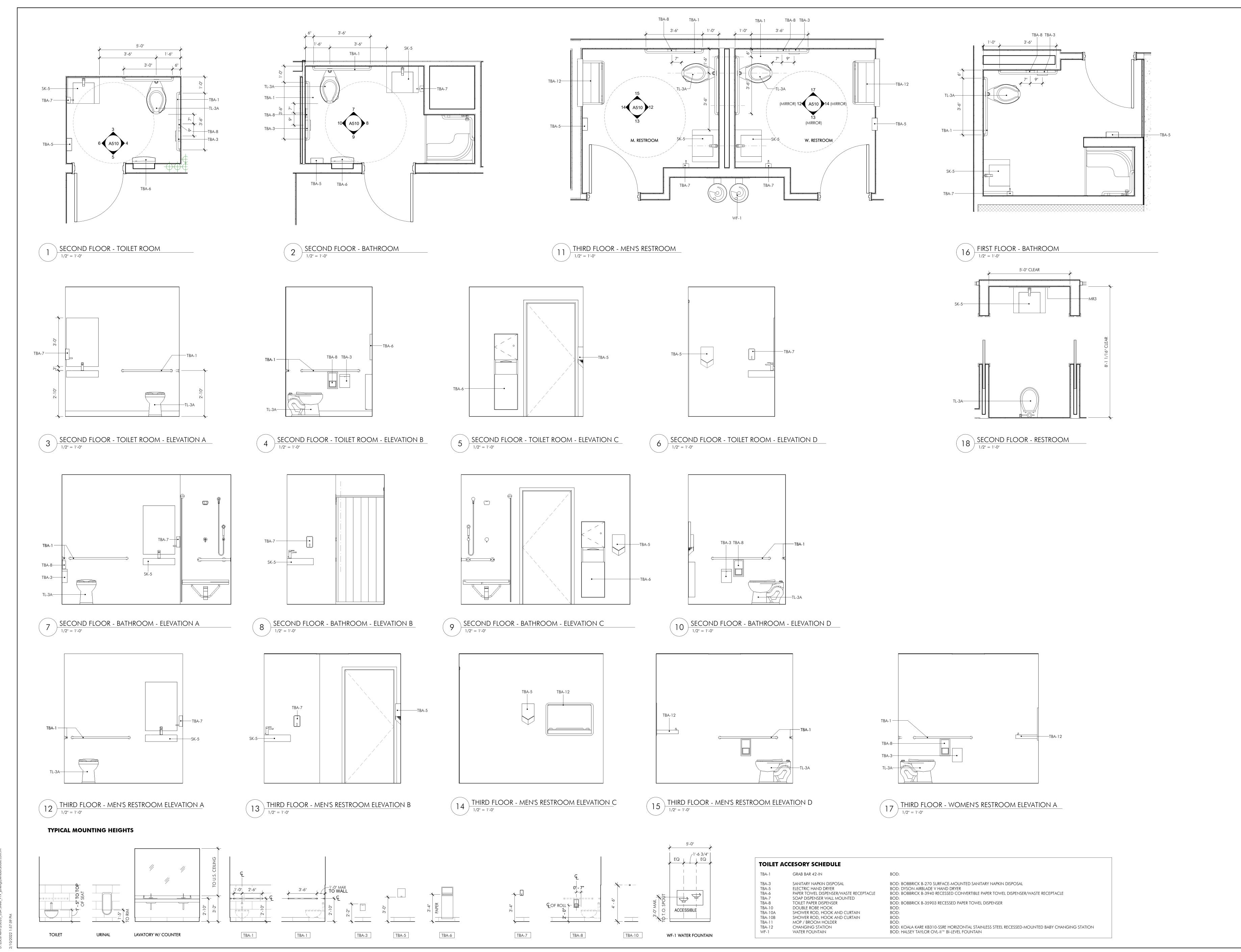


DRAWING INFORMATION

ISSUE: <u>ISSUED FOR CONSTRUCTION</u> PROJECT #: 20020

SCALE: 1/2" = 1'-0" ROOF DECK
GRILL - ENLARGED

PLAN & ELEVS DRAWING NUMBER A507



| ARCHITECT 580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER MICHAEL INDRESANO

33 A ST, BOSTON, MA 02127

CONSULTANTS

617-938-3349

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

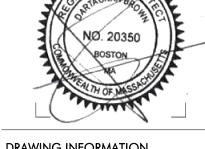
STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUCTION

33 A STREET SOUTH BOSTON, MA ISSUEI REVISIONS



DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

PROJECT #: <u>20020</u> SCALE: As indicated

DRAWING TITLE ENLARGED COMMON BATH DRAWINGS

ARCHITECT

EMBARC

580 HARRISON AVE, SUITE 2W
BOSTON, MA 02118
0: 617.765.8000
www.embarcdesign.com

owner Owner

MICHAEL INDRESANO
33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL
COLUMBIA DESIGN GROUP
14 UPHAM AVE.
DORCHESTER, MA 02125
617-506-1474

STRUCTURAL
H+O STRUCTURAL ENGINEERING
100 SUMMER ST, SUITE 1600 BOSTON, MA

02210 617-938-3349 **MEP/FP** EDE, INC.

135 BEAVER STREET, SUITE 404
WALTHAM, MA 02452
617-969-7700
ENERGY MODELING

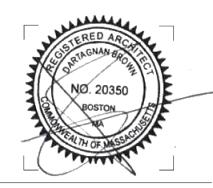
ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ISSUED FOR CONSTRUCTION

33 A STREET SOUTH BOSTON, MA

REVISIONS

MARK ISSUE



DRAWING INFORMATION

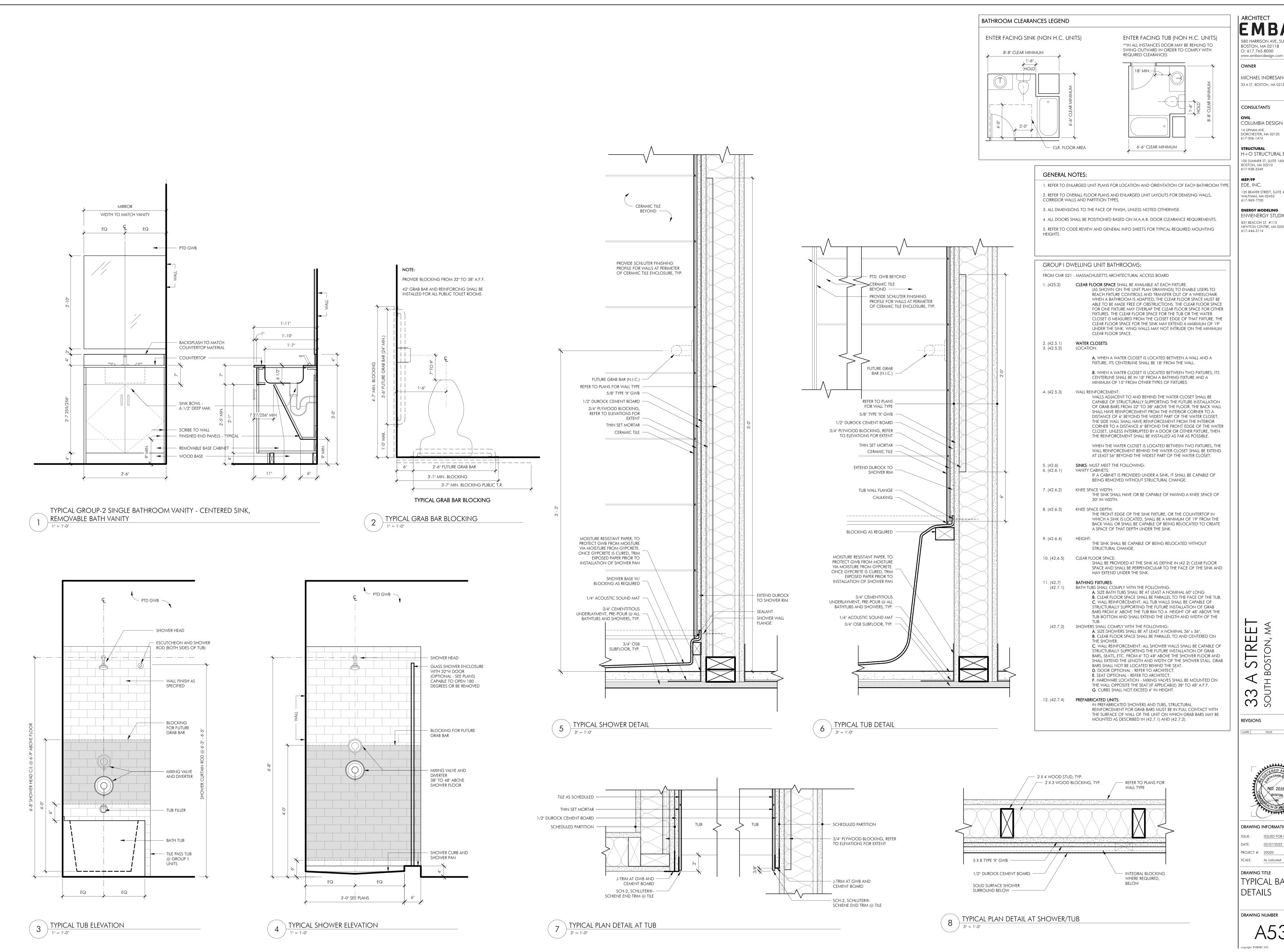
ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

DATE: <u>02/07/2022</u>

PROJECT #: <u>20020</u>

SCALE: <u>1 1/2" = 1'-0"</u>

TYPICAL KITCHEN
DETAILS



ARCHITECT BOSTON, MA 02118 O: 617.765.8000

> OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125

617-506-1474 STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459

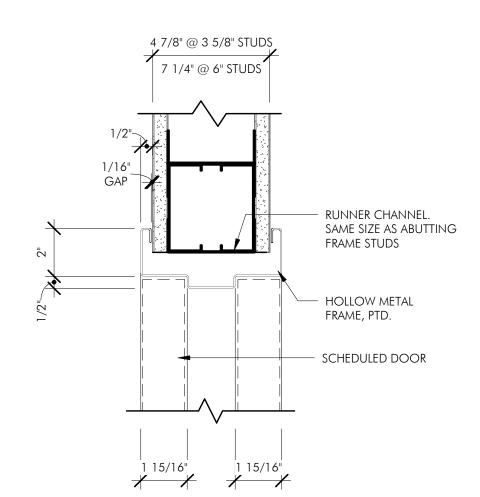
DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION

PROJECT #: 20020 SCALE: As indicated DRAWING TITLE

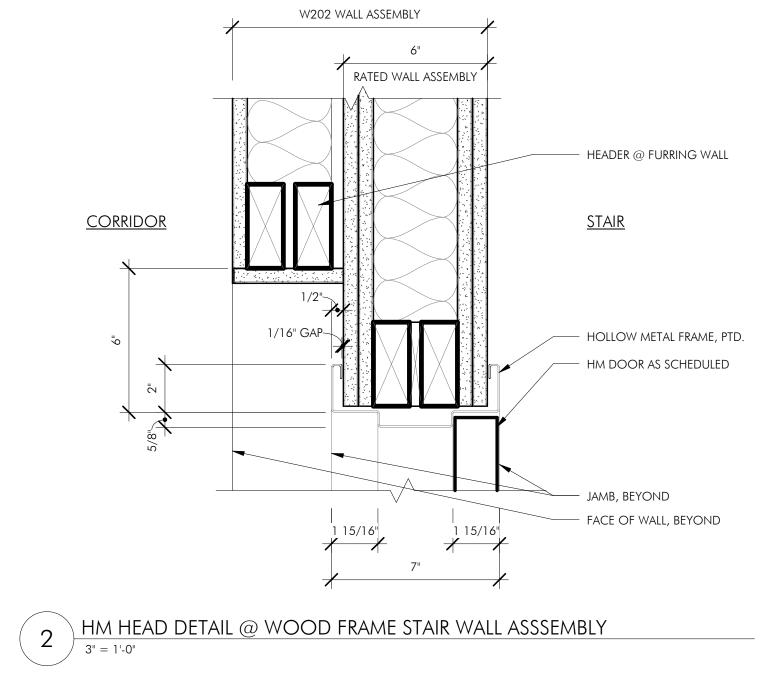
TRU

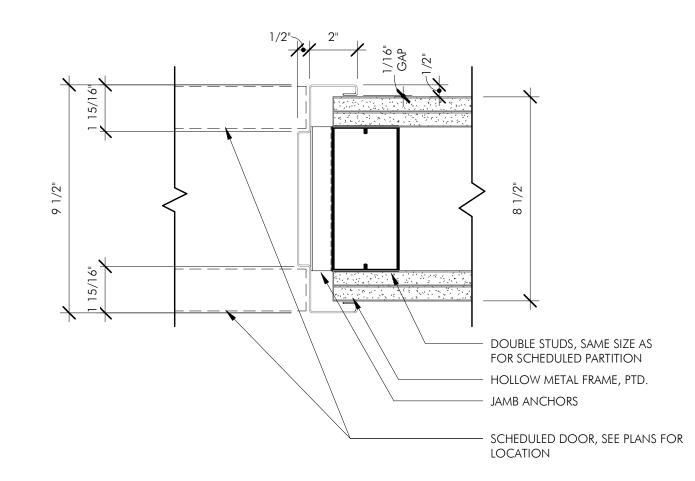
TYPICAL BATH DETAILS

DRAWING NUMBER copyright: EMBARC INC.

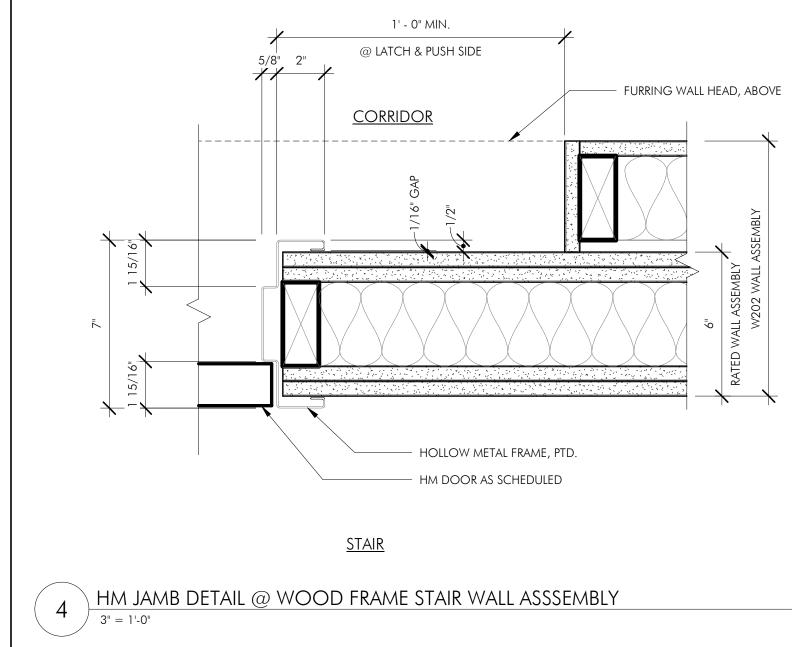


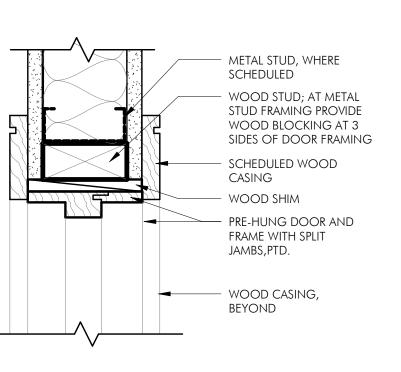
3 HM HEAD @ METAL STUDS (JAMB SIM.)

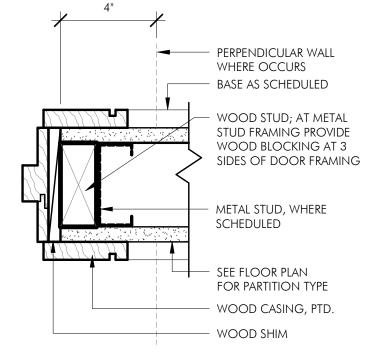




5 HM JAMB DETAIL @ 2HR METAL STUDS (HEAD SIM.)







		<u> </u>
6	PRE-HUNG HEAD	

WHERE OCCURS BASE AS SCHEDULED
WOOD STUD; AT METAL STUD FRAMING PROVIDE WOOD BLOCKING AT 3 SIDES OF DOOR FRAMING
METAL STUD, WHERE SCHEDULED
SEE FLOOR PLAN FOR PARTITION TYPE
WOOD CASING, PTD.
WOOD SHIM

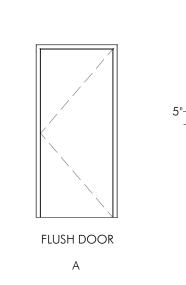
7	PRE-HUNG JAMB
- $($ $/$ $/$	3" = 1'-0"

									COMMONA	NLA			
	TYPE/STYLE			DOOR			FRA				DETAILS		FIRE
DOOR	DO 014	DOOR	\	LIFICUIT	T. II.O.O. 1500	DOOR	DOOR	FRAME	FRAME	144.45	11545	CILL	RATING HWR
NO.	ROOM	STYLE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	JAMB	HEAD	SILL	(MINS.) SET COMMENTS
001	STUDIO PROP STORAGE	F	7' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				0
002	ELEV. MACHINE ROOM	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
003	ELECTRICAL	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
004	FIRE SPRINKLER ROOM	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
005	MECHANICAL SERVICE CORRIDOR	A A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD				0 0
009	STUDIO PROP STORAGE		6' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				0
010	TELEPHONE	Α	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
062	TRANSFORMER	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				
101A 102	LOBBY PARKING GARAGE	E M	6' - 0" 15' - 0"	8' - 0" 10' - 0"	0' - 1 3/4"	ALUMINUM/GLASS ALUMINUM	FACTORY FACTORY	ALUMINUM ALUMINUM	FACTORY FACTORY				0 INSULATED TEMPERED GLAZED 0
102A	PARKING GARAGE	D	3' - 0"	8' - 0"	0' - 1 3/4"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
102B	PARKING GARAGE	Е	6' - 0"	6' - 8"	0' - 1 3/4"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
104A	COMMERCIAL	D	3' - 0"	8' - 10"	0' - 1 3/4"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
104B 105	COMMERCIAL ELECTRICAL	A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD	3/A600	3/A600		0 0
106A	BIKE STORAGE	A	3' - 0"	7 - 0"	0 - 1 3/4	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
106B	BIKE STORAGE	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	,	,		0
107A	TRASH ROOM	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
107B	TRASH ROOM	K	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				0
108	AUTOMETED PARKING CONTROLS  BATHROOM	A A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD	3/A600	3/A600		0 0
111	TRANSFORMER	/ \	9' - 7 1/2"	8' - 10"	3 1 0/4	IVILIAL	FACTORY		FACTORY	3,7,000	3,7,000		0
112	JANITOR	F	5' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
202	STUDIO 2	P	12' - 0"	8' - 0"	0' - 2 3/4"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0 INSULATED FOLDING DOORS, WITH A PAIR OF SWING DOOR
203	OFFICE OFFICE	<u> </u>	3' - 0"	8' - 0" 8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS ALUMINUM/GLASS	FACTORY FACTORY	ALUMINUM ALUMINUM	FACTORY FACTORY				0 0
205	OFFICE	<u> </u>	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
206A	RESTROOM	J	3' - 0"	6' - 8"	0' - 1 3/8"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				0
206B	RESTROOM	J	3' - 0"	6' - 8"	0' - 1 3/8"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				0
207	SMALL CONFERENCE ROOM  MECH	D 	3' - 0"	7' - 10" 7' - 0"	0' - 1 3/4"	ALUMINUM/GLASS HOLLOW METAL	FACTORY PTD	ALUMINUM HOLLOW METAL	FACTORY PTD	3/A600	3/A600		0
211	COATS	A F	6' - 0"	7 - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0 0
212	PRODUCTION	l	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY	27.12.2.2	2,1.5.2.2		
213	PRODUCTION	I	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				
214	EDITING TOILET	l	3' - 0" 3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY PTD	2/4400	3/A600		0
215	JANITOR/HWH	A A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD	3/A600 3/A600	3/A600		0
217	BATHROOM	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
218	IT ROOM	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
219	STORAGE	F	6' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
220 221	SOUND ROOM MECHANICAL	A F	3' - 0" 6' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD	3/A600 3/A600	3/A600 3/A600		0 0
222	TEL/ELEC	 F	6' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		90
223	LARGE CONF. ROOM	I	3' - 2"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
224	ACCOUNTING	<u> </u>	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				
225 226	SMALL OFFICE SMALL OFFICE	<u> </u>	3' - 0"	8' - 0" 8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS ALUMINUM/GLASS	FACTORY FACTORY	ALUMINUM ALUMINUM	FACTORY FACTORY				
227	SMALL OFFICE	<u> </u>	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				
228	PRIVATE CLIENT OFFICE	1	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				
230	ELEVATOR LOBBY	<u> </u>	3' - 0"	8' - 0"	0' - 1 3/8"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0
300A 300B	TENANT STUDIO 1 LOFT	A D	3' - 0"	7' - 0" 10' - 8"	0' - 1 3/4"	HOLLOW METAL ALUMINUM/GLASS	PTD FACTORY	HOLLOW METAL ALUMINUM	PTD FACTORY				0
301	TENANT A	B	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
302	m. restroom	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
302	TENANT B	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
303	W. RESTROOM JANITOR	A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD	3/A600 3/A600	3/A600 3/A600		0 0
306	MECHANICAL	A	3' - 0"	7' - 0"	0 - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	5/A600	5/A600		90
308	MECHANICAL	F	6' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		0
309	TEL/ELEC	F	6' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		90
401	TEL/DATA STORAGE	F А	5' - 0" 3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL HOLLOW METAL	PTD PTD				90 20
488	TEL/ELEC	F	6' - 0"	7' - 0"	0 - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	3/A600	3/A600		90
502	TEL/DATA	F	5' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
503	STORAGE	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				20 FOLUD WITH AUTOMATIC OPENING DEVICES
ST1-1 ST1-2	STAIR #1 STAIR #1	A A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD				90 EQUIP WITH AUTOMATIC OPENING DEVICES 90
ST1-3	STAIR #1	A	3' - 0"	7' - 0"	0 - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	5/A600	5/A600		90
ST1-4	STAIR #1	А	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	4/A600	2/A600		90
ST1-5A	STAIR #1	A .	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	4/A600	2/A600		90
ST1-5B ST2-0	STAIR #1 STAIR #2	A A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD PTD				90 90
ST2-1	STAIR #2	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	4/A600	2/A600		90
ST2-2	STAIR #2	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	4/A600	2/A600		90
ST2-3	STAIR #2	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD	4/A600	2/A600		90
ST2-4	STAIR #2 STAIR #2	Α Δ	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD PTD	4/A600 4/A600	2/A600 2/A600		90 90
ST2-5A ST2-5B	STAIR #2 STAIR #2	A	3' - 0"	7' - 0" 7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD PTD	HOLLOW METAL	PTD	4/A0UU	Z/A0UU		90
ST2-7	STAIR #2	A	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	PTD	HOLLOW METAL	PTD				90
ST3-7	STAIR #3	D	3' - 0"	7' - 0"	0' - 1 3/4"	ALUMINUM/GLASS	FACTORY	ALUMINUM	FACTORY				0

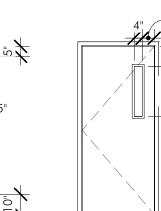
DOOR SCHEDULE - COMMON AREA

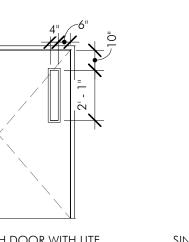
							DO	OR SCHEDULE	- residenti	al units						
	TYPE/STYLE			DOOR		FRAME			DETAILS FIRE							
DOOR Type	USE	DOOR STYLE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	frame finish	JAMB	HEAD	SILL	RATING (MINS.)	HWR SET	COMMENTS	
A1	UNIT ENTRY	В	3' - 0"	7' - 0"	0' - 1 3/4"	SOLID CORE WOOD	PTD	WOOD	PTD	1/A600			20			
B1	BEDROOM	В	2' - 10"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
B4	DEN	G	6' - 0"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C4	CLOSET	В	2' - 6"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C5	CLOSET	В	2' - 8"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C6	CLOSET	В	2' - 10"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C7	CLOSET	Н	4' - 0"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C8	CLOSET	Н	5' - 0"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
C10	LIVING SPACE	J	4' - 0"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
D1	BATHROOM	В	2' - 10"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
D3	BATHROOM	J	3' - 0"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
D4	BATHROOM	J	2' - 10"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
D5	BATHROOM	J	3' - 6"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
E1	BALCONY	D	3' - 0"	8' - 0"	0' - 1 3/4"									INSULATED TEA		
F	DECK	Р	15' - 0"	8' - 4"	0' - 2"									INSULATED TEA		
G	BALCONY	Q	6' - 0"	7' - 0"	0' - 1 3/4"									INSULATED TEA	MPERED GLAZED	
L1	LAUNDRY	В	2' - 10"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							
M1	MECHANICAL	В	2' - 6"	6' - 8"	0' - 1 3/8"	SOLID CORE WOOD	PTD	WOOD	PTD							

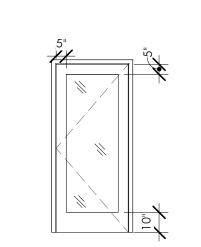
## DOOR STYLES

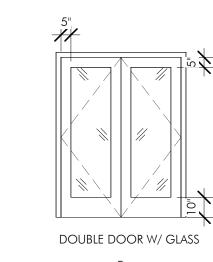


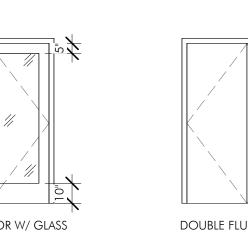
POCKET DOOR

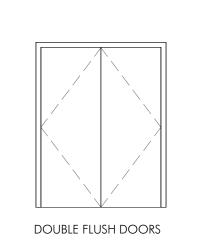


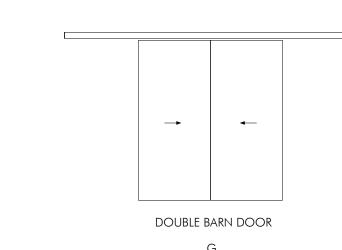


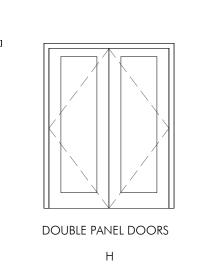




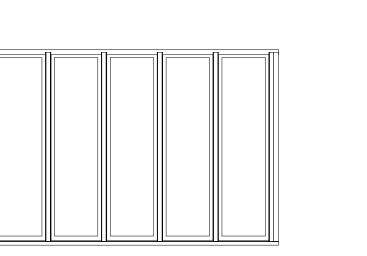


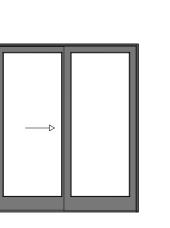


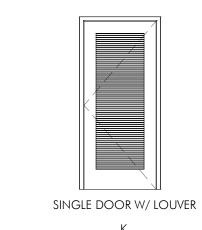


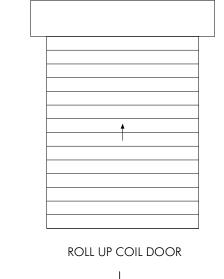


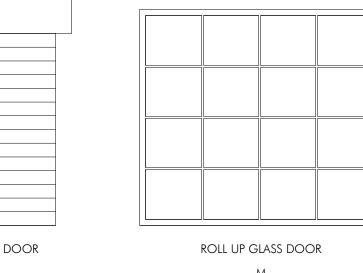


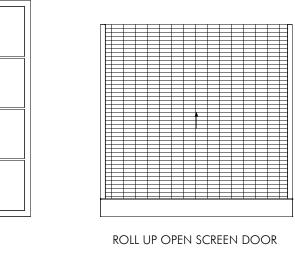


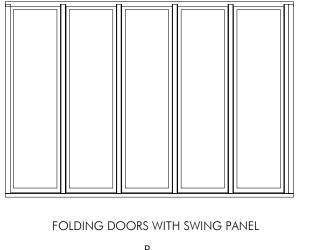














| ARCHITECT

BOSTON, MA 02118 O: 617.765.8000

www.embarcdesign.com OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUEI

33 A STREET SOUTH BOSTON, MA REVISIONS



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE DOOR SCHEDULE

FRESH AIR INTAKE LOUVER; COORDINATE W/ WINDOW LOCATION

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL
H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

> ONSTRUCTION ISSUEI

REVISIONS

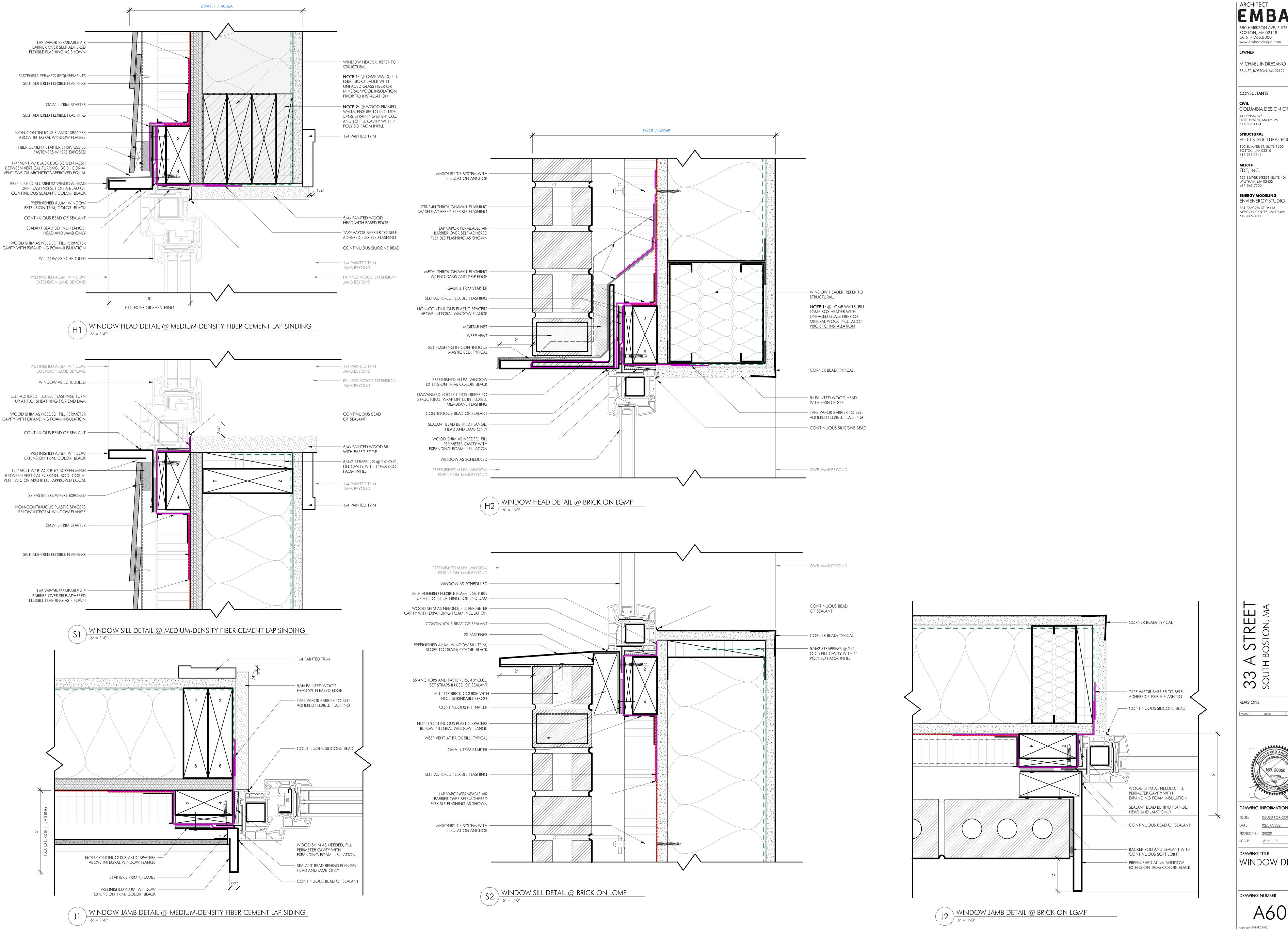
33 A STREET SOUTH BOSTON, MA



DRAWING INFORMATION ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

PROJECT #: 20020 SCALE: 1/2" = 1'-0"

DRAWING TITLE WINDOW TYPES



| ARCHITECT BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE.

DORCHESTER, MA 02125 617-506-1474 STRUCTURAL

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** 

envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

TRU

REVISIONS

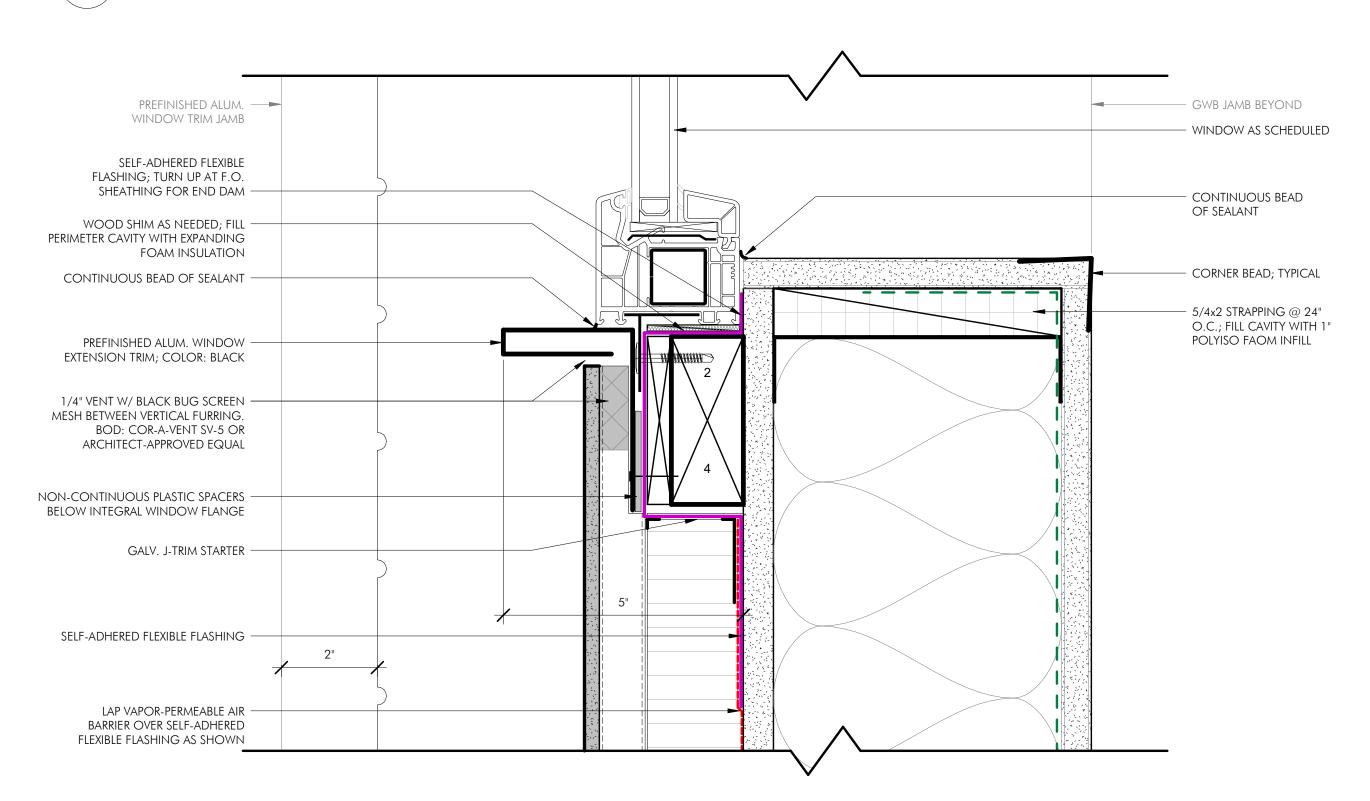


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

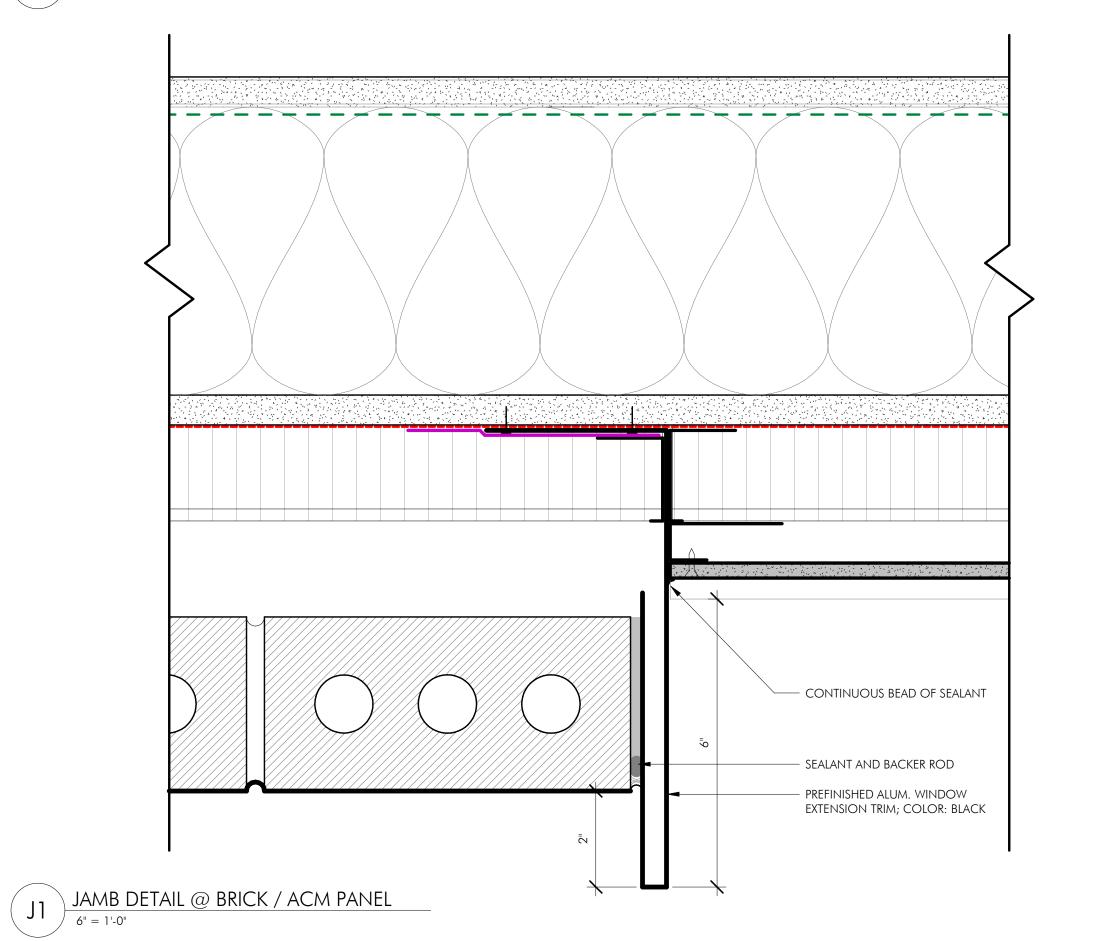
SCALE: 6'' = 1'-0''

DRAWING TITLE WINDOW DETAILS

WINDOW HEAD DETAIL @ ACM PANEL WITHIN BRICK



S1 WINDOW SILL DETAIL @ ACM PANEL WITHIN BRICK



| ARCHITECT

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 **ENERGY MODELING** envienergy studio

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUC

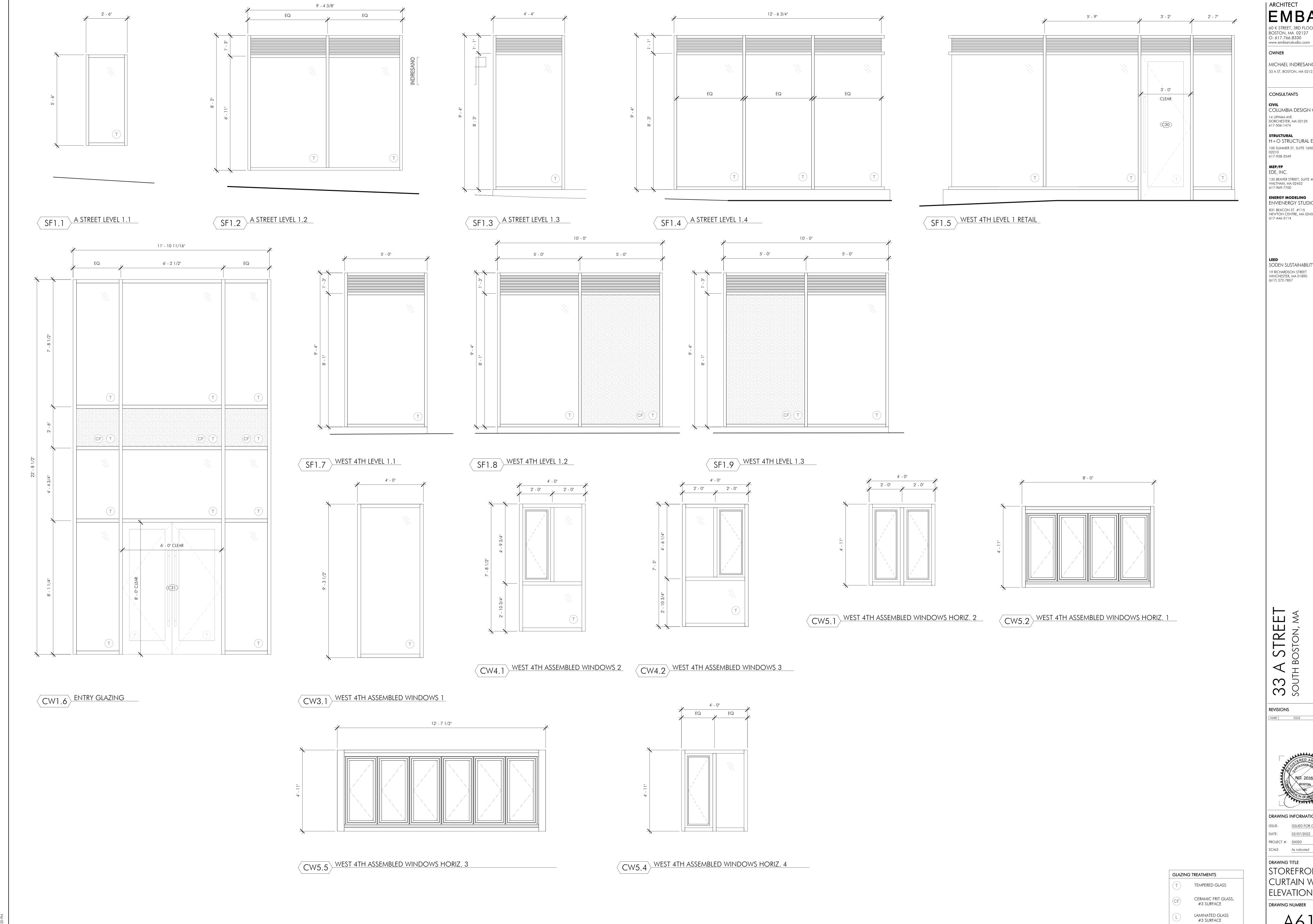
33 A STREET SOUTH BOSTON, MA REVISIONS



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE WINDOW DETAILS



| ARCHITECT **EMBARC** 

60 K STREET, 3RD FLOOR BOSTON, MA 02127 O: 617.766.8330 www.embarcstudio.com

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS CIVIL COLUMBIA DESIGN GROUP

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

LEED SODEN SUSTAINABILITY CONSULTING 19 RICHARDSON STREET WINCHESTER, MA 01890 (617) 372-7857

ONSTRUCTION

ISSUED

REVISIONS

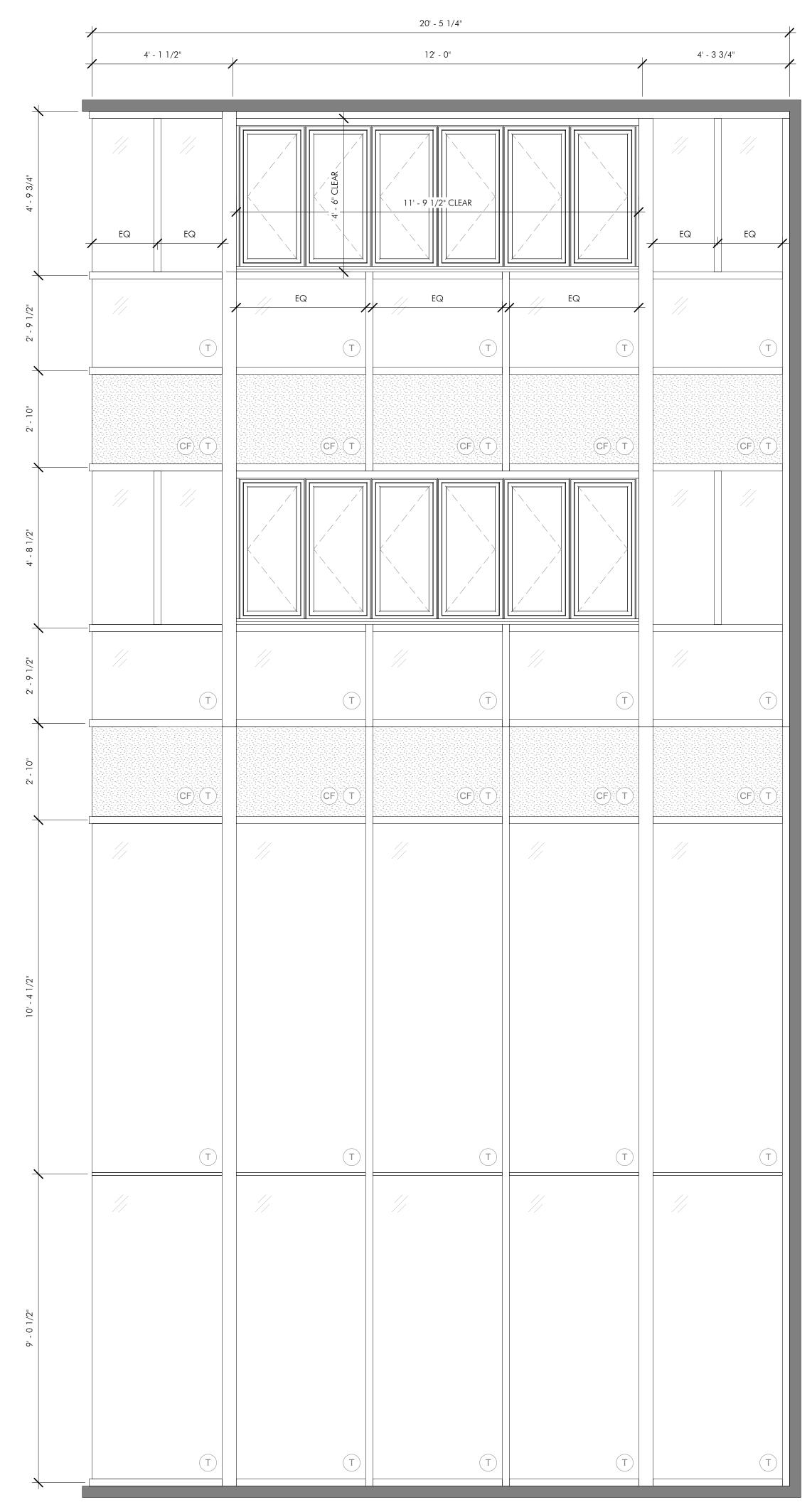


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE STOREFRONT & CURTAIN WALL ELEVATIONS

copyright: EMBARC STUDIO, LLC





CW2.3 UPPER CURTAIN WALL W 4TH1

EQ

EQ

CF T

CW2.1 UPPER CURTAIN WALL A STREET

CW2.2 UPPER CURTAIN WALL W 4TH

GLAZING TREATMENTS

TEMPERED GLASS

T TEMPERED GLAS

CERAMIC FRIT C

CERAMIC FRIT GLASS, #3 SURFACE LAMINATED GLASS #3 SURFACE

DRAWING NUMBER

A611

copyright: EMBARC INC.

- James

ISSUE: <u>ISSUED FOR CONSTRUCTION</u>

CURTAIN WALL

ELEVATIONS

DRAWING INFORMATION

DATE: <u>02/07/2022</u>

PROJECT #: 20020

SCALE: As indicated

DRAWING TITLE

CONSTRUCTION

ISSUED

33 A STREET SOUTH BOSTON, MA

REVISIONS

ARCHITECT EMBARC

580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

MICHAEL INDRESANO
33 A ST, BOSTON, MA 02127

COLUMBIA DESIGN GROUP

STRUCTURAL
H+O STRUCTURAL ENGINEERING

CONSULTANTS

14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

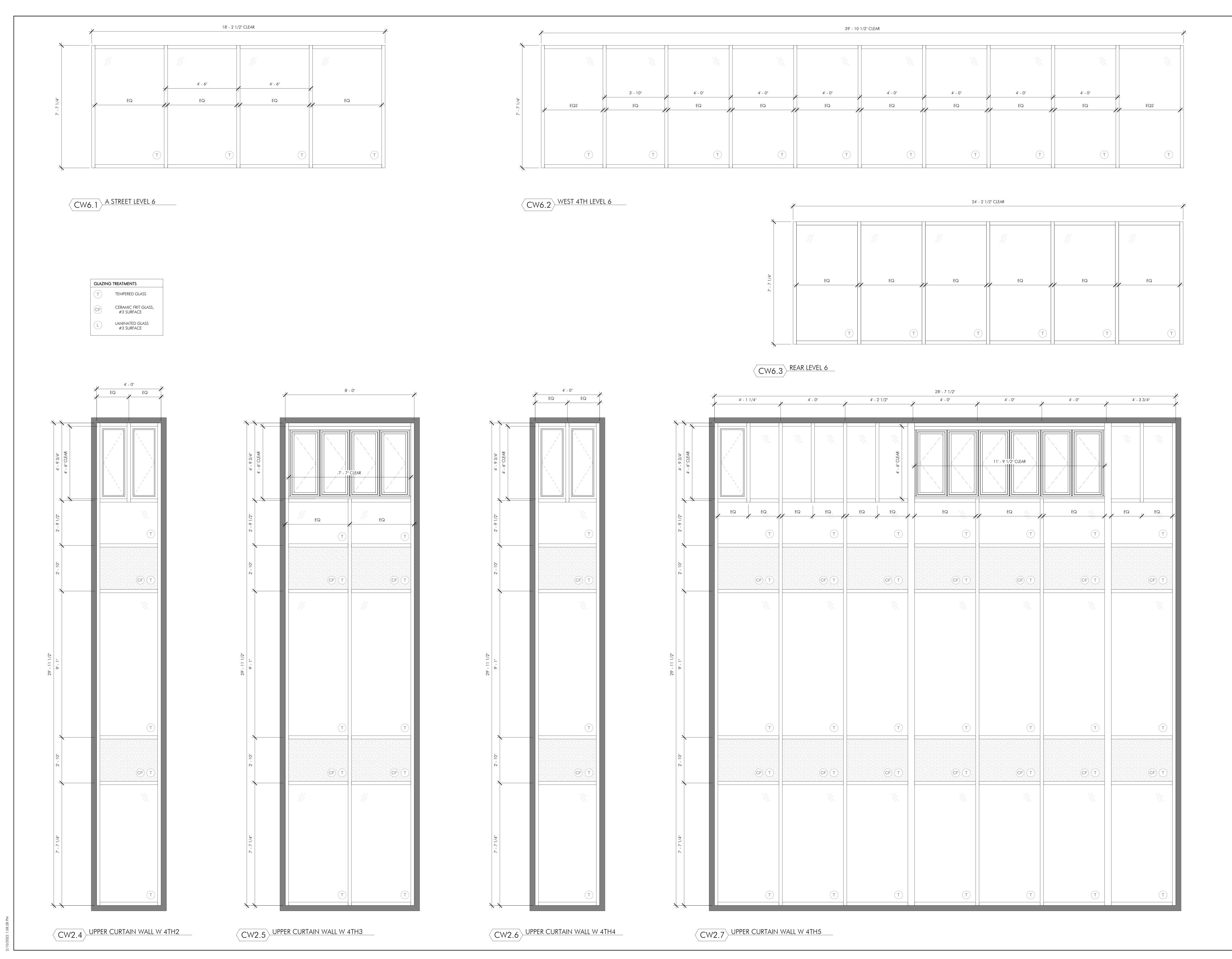
135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

ENERGY MODELING ENVIENERGY STUDIO

831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

MEP/FP EDE, INC.

OWNER



580 HARRISON AVE, SUITE 2W BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

OWNER

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING

100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349 MEP/FP EDE, INC.

135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

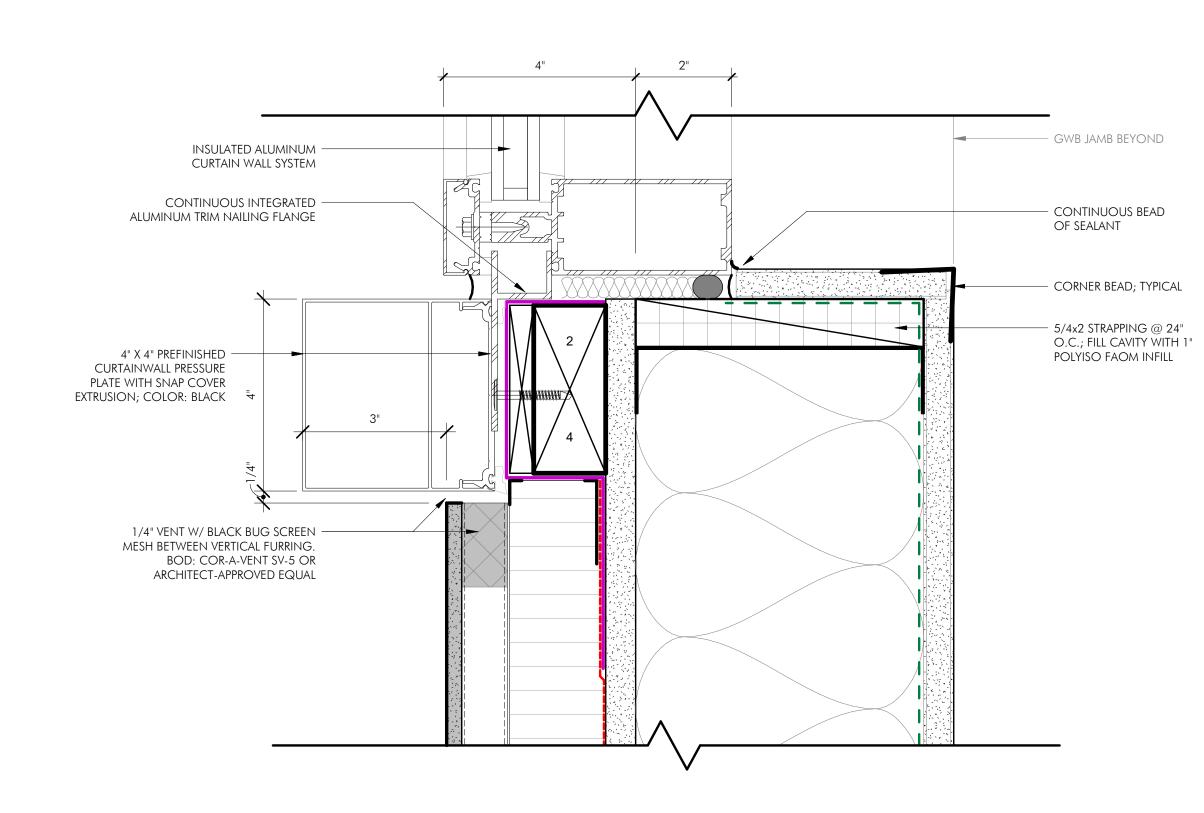
REVISIONS



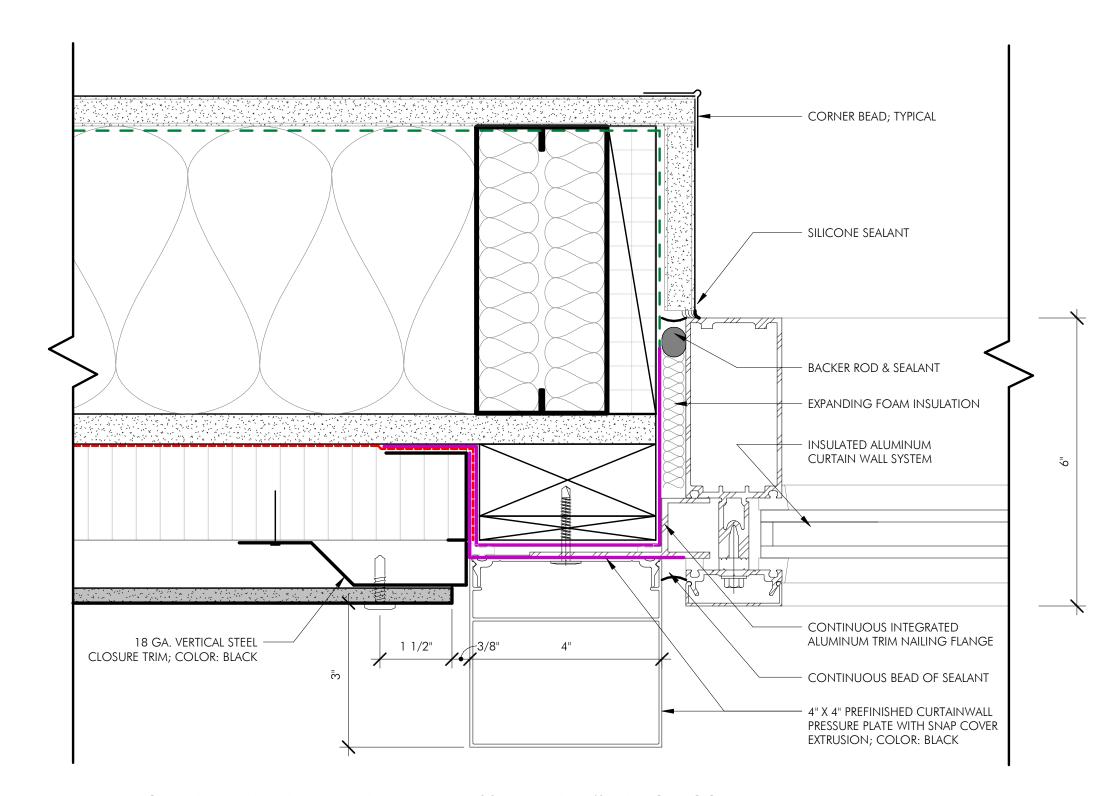
DRAWING INFORMATION PROJECT #: 20020

SCALE: As indicated DRAWING TITLE CURTAIN WALL ELEVATIONS

H2 @ LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL CURTAINWALL HEAD DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM



S1 LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL CURTAINWALL SILL DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM @



CURTAINWALL JAMB DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM @ LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL

www.embarcdesign.com

ARCHITECT EMBARC BOSTON, MA 02118 O: 617.765.8000

MICHAEL INDRESANO 33 A ST, BOSTON, MA 02127

OWNER

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

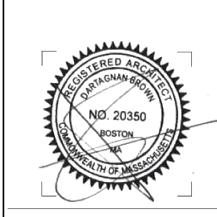
STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404 WALTHAM, MA 02452 617-969-7700

**ENERGY MODELING** envienergy studio 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114

ONSTRUC

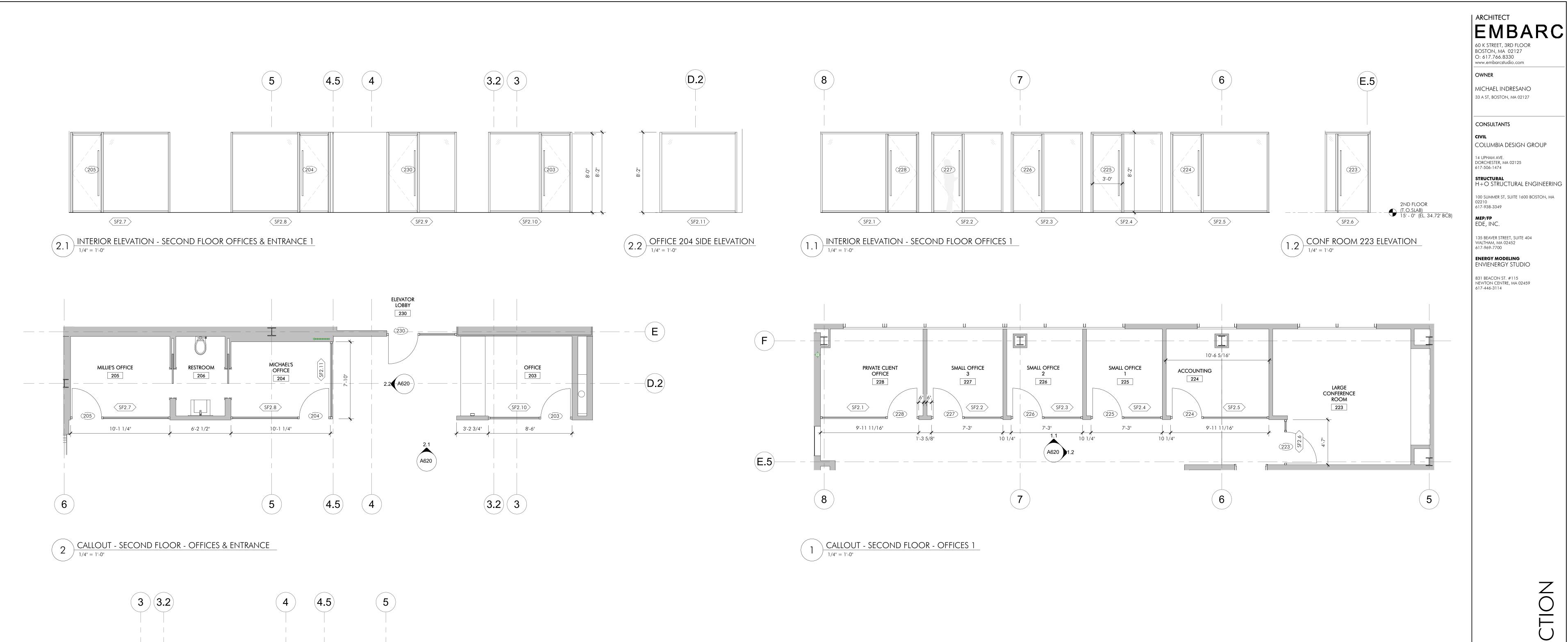
33 A STREET SOUTH BOSTON, MA REVISIONS

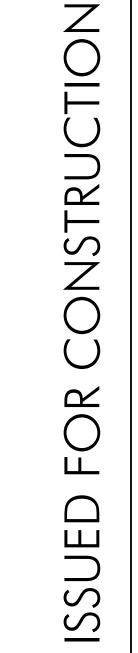


DRAWING INFORMATION ISSUE: ISSUED FOR CONSTRUCTION PROJECT #: 20020

DRAWING TITLE STOREFRONT & CURTAIN WALL DETAILS

DRAWING NUMBER A613 copyright: EMBARC INC.





33 A STREET SOUTH BOSTON, MA

REVISIONS

MARK ISSUE DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: 02/07/2022

PROJECT #: 20020

SCALE: 1/4" = 1'-0"

DRAWING TITLE

GLASS

DADTITIONIC

INTERIOR GLASS PARTITION GENERAL NOTES

BASIS OF DESIGN: METRO WALL - VETRO SERIES - H CHANNEL, VERTICAL & HORIZONTAL MULLIONS GLASS
PARTITIONS
ELEVATIONS
DRAWING NUMBER

A620

(213)

SF2.12

PRODUCTION 213

3.1 INTERIOR ELEVATION - SECOND FLOOR OFFICES 2

3 (3.2)

SF2.13

PRODUCTION

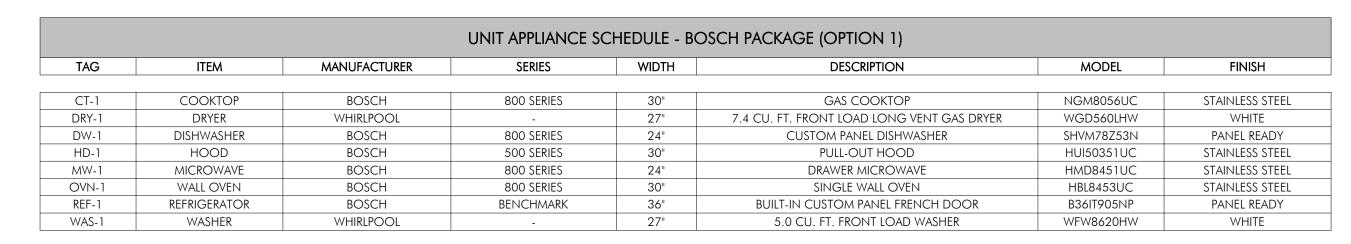
COATS

211

3'-0" SF2.14

EDITING 214

SF2.14



UNIT APPLIANCE SCHEDULE - FISHER & PAYKEL PACKAGE (OPTION 2)												
TAG	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH					
CT-1	COOKTOP	FISHER & PAYKEL	SERIES 7	30"	GAS ON STEEL COOKTOP	CG305DNGX1 N	STAINLESS STE					
DRY-1	DRYER	WHIRLPOOL	-	27"	7.4 CU.FT. FRONT LOAD LONG VENT GAS DRYER	WGD560LHW	WHITE					
DW-1	DISHWASHER	FISHER & PAYKEL	SERIES 7	24"	Integrated dishwasher	DW24U6I1	PANEL READY					
HD-1	HOOD	BOSCH	500 SERIES	30"	PULL-OUT HOOD	HUI50351UC	STAINLESS STE					
MW-1	MICROWAVE	BOSCH	800 SERIES	24"	DRAWER MICROWAVE	HMD8451UC	STAINLESS STE					
OVN-1	WALL OVEN	FISHER & PAYKEL	SERIES 9	30"	SINGLE WALL OVEN	OB30SDPTX1	STAINLESS STE					
REF-1	REFRIGERATOR	FISHER & PAYKEL	SERIES 7	36"	INTEGRATED REFRIGERATOR FREEZER, ICE	RS36W80RJ1_N	PANEL READ'					
WAS-1	WASHER	WHIRLPOOL	-	27"	5.0 CU. FT. FRONT LOAD WASHER	WFW8620HW	WHITE					

PENTHOUSE APPLIANCE SCHEDULE - THERMADOR PACKAGE (OPTION 1)												
TAG	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH					
BEV-1	BEVERAGE CENTER	THERMADOR	FREEDOM COLLECTION	24"	UNDERCOUNTER GLASS DOOR REFRIGERATOR	T24UR925RS	PANEL READY					
CT-2	COOKTOP	THERMADOR	MASTERPIECE STAR BURNER	36"	GAS COOKTOP	SGS365TS	STAINLESS STEEL					
DRY-1	DRYER	WHIRLPOOL	-	27"	7.4 CU. FT. FRONT LOAD LONG VENT GAS DRYER	WGD560LHW	WHITE					
DW-2	DISHWASHER	THERMADOR	EMERALD	24"	6-PROGRAM DISHWASHER	DWHD650WPR	PANEL READY					
DW-3	DISHWASHER	BOSCH	800 SERIES	18"	FULLY INTEGRATED DISHWASHER	SPV68U53UC	PANEL READY					
HD-2	HOOD	BEST RANGE HOODS	CP5 SERIES	36"	BUILT-IN RANGE HOOD	CP55IQ369SB	STAINLESS STEEL					
MW-2	MICROWAVE	THERMADOR	MASTERPIECE & PROFESSIONAL	24"	MICRODRAWER MICROWAVE	MD24WS	STAINLESS STEEL					
DVN-2	WALL OVEN	THERMADOR	MASTERPIECE	30"	DOUBLE BUILT-IN OVEN	MED302WS	STAINLESS STEEL					
REF-2	REFRIGERATOR	THERMADOR	FREEDOM COLLECTION	24"	BUILT-IN FRESH FOOD COLUMN	T24IR905SP	PANEL READY					
REF-3	FREEZER	THERMADOR	FREEDOM COLLECTION	24"	BUILT-IN FREEZER COLUMN WITH ICE & WATER DISPENSER	T24ID905LP	PANEL READY					
REF-4	WNIE COLUMN	THERMADOR	FREEDOM COLLECTION	24"	BUILT-IN WINE PRESERVATION COLUMN	T24IW905SP	PANEL READY					
NAS-1	WASHER	WHIRLPOOL	-	27"	5.0 CU. FT. FRONT LOAD WASHER	WFW8620HW	WHITE					

		PEN	ITHOUSE APPLIANCE SCH	HEDULE - G	AGGENAU PACKAGE (OPTION 2)		
TAG	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH
BEV-1	BEVERAGE CENTER	THERMADOR	FREEDOM COLLECTION	24"	UNDERCOUNTER GLASS DOOR REFRIGERATOR	T24UR925RS	PANEL READY
CT-2	COOKTOP	GAGGENAU	200 SERIES	36"	GAS COOKTOP	VG295150CA	STAINLESS STEE
DRY-1	DRYER	WHIRLPOOL	-	27"	7.4 CU. FT. FRONT LOAD LONG VENT GAS DRYER	WGD560LHW	WHITE
DW-2	DISHWASHER	GAGGENAU	400 SERIES	24"	FULLY INTEGRATED SMART DISHWASHER	DF480700	PANEL READY
DW-3	DISHWASHER	BOSCH	800 SERIES	18"	FULLY INTEGRATED DISHWASHER	SPV68U53UC	PANEL READ
GR-2	GRILL	GAGGENAU	VARIO 400 SERIES	15"	ELECTRIC TEPPANYAKI GRILL	VP414611	Stainless ste
HD-2	HOOD	BEST RANGE HOODS	CP5 SERIES	36"	BUILT-IN RANGE HOOD	CP55IQ369SB	Stainless ste
ICE-1	ICE MAKER	GE	-	15"	UNDERCOUNTER ICE MAKER WITH GOURMET CLEAR ICE	UCC15NJII	PANEL READ
MW-2	MICROWAVE	GAGGENAU	-	24"	BUILT-IN MICROWAVE DRAWER	MW420620	Stainless ste
OVN-2	WALL OVEN	GAGGENAU	400 SERIES	30"	ELECTRIC DOUBLE WALL OVEN	BX481612	Stainless ste
REF-2	REFRIGERATOR	GAGGENAU	VARIO 400 SERIES	24"	BUILT-IN SMART ALL REFRIGERATION COLUMN	RC462705	PANEL READ'
REF-3	FREEZER	GAGGENAU	VARIO 400 SERIES	24"	BUILT-IN SMART FULL-FREEZER COLUMN	RF463706	PANEL READ'
REF-4	WINE COLUMN	GAGGENAU	VARIO 400 SERIES	24"	TRI-ZONE SMART WINE COOLER	RW466765	PANEL READ'
WAS-1	WASHER	WHIRLPOOL	-	27"	5.0 CU.FT. FRONT LOAD WASHER	WFW8620HW	WHITE

ROOF DECK APPLIANCE SCHEDULE											
TAG	LOCATION	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH			
BEV-2	ROOF DECK	BEVERAGE CENTER	SUB-ZERO	DESIGNER	24"	OUTDOOR UNDERCOUNTER REFRIGERATOR	DEU2450RO	STAINLESS STEEL			
GR-1	ROOF DECK	GRILL	WOLF	-	30"	OUTDOOR GAS GRILL	OG30	STAINLESS STEEL			

	STUDIO 1 APPLIANCE SCHEDULE												
TAG	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH						
CT-3	COOKTOP	FISHER & PAYKEL	SERIES 7	30"	GAS ON STEEL COOKTOP	CG305DNGX1_N	Panel ready						
DW-4	DISHWASHER	FISHER & PAYKEL	SERIES 7	24"	integrated dishwasher	DW24U6I1	PANEL READY						
HD-3	HOOD	BOSCH	500 SERIES	30"	PULL-OUT HOOD	HUI50351UC	STAINLESS STEEL						
MW-3	MICROWAVE	BOSCH	800 SERIES	24"	DRAWER MICROWAVE	HMD8451UC	STAINLESS STEEL						
OVN-3	WALL OVEN	FISHER & PAYKEL	SERIES 9	30"	SINGLE WALL OVEN	OB30SDPTX1	STAINLESS STEEL						
REF-5	REFRIGERATOR	FISHER & PAYKEL	SERIES 7	36"	INTEGRATED REFRIGERATOR FREEZER, ICE	RS36W80RJ1_N	PANEL READY						

	STUDIO 2 APPLIANCE SCHEDULE												
TAG	ITEM	MANUFACTURER	SERIES	WIDTH	DESCRIPTION	MODEL	FINISH						
DW-5	DISHWASHER	COVE	-	24"	BUILT-IN DISHWASHER	DW2450	STAINLESS STEEL						
HD-4	HOOD	BEST RANGE HOODS	CP3 SERIES	30"	BUILT-IN RANGE HOOD	CP35I309SB	STAINLESS STEEL						
RAN-1	GAS RANGE	WOLF	-	30"	GAS RANGE	GR304	STAINLESS STEEL						
REF-6	REFRIGERATOR	TRUE	T-SERIES	27"	PASS-THRU SOLID SWING DOOR REFRIGERATOR	T-23PT-HC	STAINLESS STEEL						
REF-7	FREEZER	TRUE	T-SERIES	27"	reach-in solid swing door freezer	T-23F-HC	STAINLESS STEEL						
REF-8	WORKTOP	TRUE	-	72"	WORKTOP SOLID DOOR REFRIGERATOR	TWT-72-HC	STAINLESS STEEL						

FIREPLACE SCHEDULE			
TAG	MANUFACTURER	MODEL	FINISH
FP-1	HEAT & GLO	MEZZO 36	
FP-2	ORTAL	110H	

**GENERAL NOTES:** 

1. GC PROVIDE LONG THROW DRY WHEN VENT LENGTH EXCEED CODE REQUIREMENTS

ARCHITECT EMBARC

BOSTON, MA 02118 O: 617.765.8000 www.embarcdesign.com

michael indresano 33 A ST, BOSTON, MA 02127

OWNER

CONSULTANTS

COLUMBIA DESIGN GROUP 14 UPHAM AVE. DORCHESTER, MA 02125 617-506-1474

STRUCTURAL H+O STRUCTURAL ENGINEERING 100 SUMMER ST, SUITE 1600 BOSTON, MA 02210 617-938-3349

MEP/FP EDE, INC. 135 BEAVER STREET, SUITE 404

WALTHAM, MA 02452 617-969-7700 ENERGY MODELING ENVIENERGY STUDIO 831 BEACON ST. #115 NEWTON CENTRE, MA 02459 617-446-3114



DRAWING INFORMATION

PROJECT #: 20020

DRAWING TITLE AMENITY & UNIT SCHEDULE