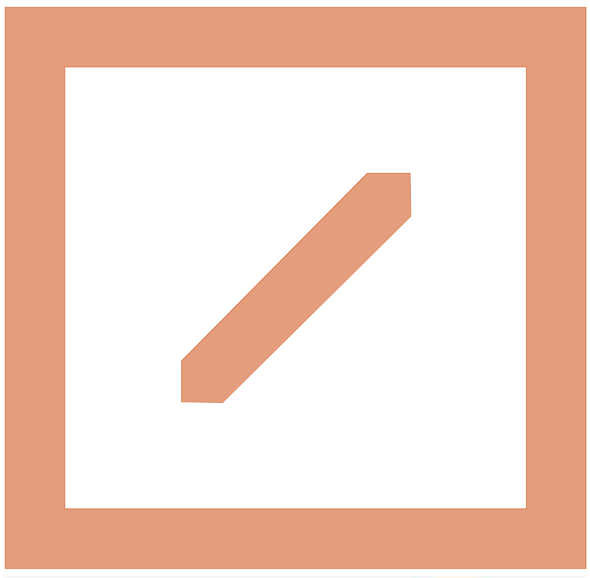


410 MASS AVE : RESIDENCES

410 MASSACHUSETTS AVENUE, BOSTON, MASSACHUSETTS



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ARCHITECTURAL ABBREVIATIONS

A AND AB ANCHOR BOLT ACFL ACCESS FLOOR ACQ ACUSTIC ACT ACOUSTIC CEILING TILE AD AREA DRAIN ADD ADDENDUM ADDL ADDITIONAL ADJ ADJUSTABLE ADM ADJACENT ADMIN ADMINISTRATION AFF ABOVE FINISHED FLOOR AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM ANNUN ANNUNCIATOR AP ACCESS PANEL APC ARCHITECTURAL PRECAST CONCRETE APROX APPROXIMATE ARCH ARCHITECTURAL AUTO AUTOMATIC AWT ACOUSTIC WALL TREATMENT	E E EXISTING EC ELECTRIC CABINET EIP EXTERIOR INSULATION AND FINISH SYSTEM EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EP ELECTRIC PANEL EQ EQUAL EQUIP EQUIPMENT ES END SECTION EWC ELECTRIC WATER COOLER EXA EXHAUST AIR EXC EXCAVATE/ED-ION EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR	L L ANGLE LAV LAVATORY LAV FOUNTAIN LBD LINEAR CEILING DIFFUSER LEF LINE FIGURED LIM LINE MARK LKR LOCKER LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LMC LINEAR METAL COATING LOC LOCATE-ION LPT LOW POINT LST LAWN SPRINKLING LT LIGHT LTS LIGHTING LVR LOUVER LWC LINER WOOD CEILING	S S SINK SCHED SCHEDULE SD SHOWER DRAIN SD SMOKER DAMPER SDISP SOAP DISPENSER SEC SECRETARY SECT SECTION SF STOREFRONT SF SQUARE FEET SH SHOWER SHD SHOWER HEAD SHT SHEET SHT SHEATHING SIM SIMILAR SL SEALER SLT SLANT SLV SLEEVE SLM SURFACE MOUNTED SNC SANITARY NAPKIN CABINET SND SANITARY NAPKIN DISPOSER SOG SLAB ON GRADE SPEC SPECIFICATIONS SPT SINGLE PLY ROOF SQ SQUARE SQ YD SQUARE YARD SR SERVICE RECEPTOR SS STAINLESS STEEL ST STONE ST STREET STC SOUND TRANSMISSION CLASS STD STANDARD STL STEEL STR STRUCTURAL STOR STORAGE SU SUPERVISOR SUSP SUSPENDED SW STEEL WINDOW SW SWITCH SXD SOFTWOOD SYM SYMMETRICAL	M M MIDDLE MAN MANUAL MATL MATERIAL MAX MAXIMUM MBD MARKER BOARD MC MEDICINE CABINET MCU MODULAR COOLING UNIT MECH MECHANICAL MEMB MEMBRANE MET METAL MEZZ MEZZANINE MFR MANUFACTURER MID MIDDLE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MOP MASONRY OPENING MONO MONOLITHIC MPC METAL PAN CEILING MPJ MULTI-PURPOSE UNIT MTD MOUNTED MULL MULLION	M NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NRC NOISE REDUCTION COEFFICIENT NOTE NOTE NTS NOT TO SCALE O ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHEAD OP OPERABLE PARTITION OPER OPERATOR OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN P PART PB PUSH BUTTON PC PRECAST POD PAPER CUP DISPENSER PED FEDESTAL PL PLATE PLAM PLASTIC LAMINATE PLMB PLUMBING PLS PLASTER PLW PLYWOOD PLW PROPERTY LINE PNL PANEL PREL PRELIMINARY PRES PRESSURE PRIM PRIMARY PROJ PROJECTION PRV POWER ROOF VENTILATOR PT PAINT PTC PAPER TOWEL CABINET PTR PRINTER PVC POLYVINYL CHLORIDE Q QT QUARRY TILE R R R RADIUS R RISER RA RETURN AIR RAD RADIATE-ION RB RESIDENT BARE RD ROOF DRAIN RELOC relocate EXISTING RE RECESS-ED REF REFERENCE REF REFRIGERATOR REG REGISTER RENF REINFORCE-ED-ING REM REMOVE REQ D REQUIRED RET RETAIN-ING REV REVERSE REV REVISE RF RESIDENT FLOOR RH ROOF HATCH RM ROOM RO ROUGH OPENING RS ROUGH SLAB RWL RAIN WATER LEADER	T TAN TANGENT TBD TACKBOARD TBD TO BE DETERMINED TIME CLOCK TCAB TOILET CABINET NOTE TDISP TISSUE DISPENSER TDR TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TEMPERED TER TERRAZZO TG TONGUE & GROOVE TH THRESHOLD TPG TEMPERED PLATE GLASS TPH TOILET PAPER HOLDER TR TREAD TRANS TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL U URINAL UC UNDERCUT UFD UNDER FLOOR DUCT UG UNDERGROUND UH UNIT HEATER UNFIN UNFINISHED UNION UNLESS OTHERWISE NOTED US UTILITY SHELF US UTILITY	V VC VALVE CABINET VENT VENTILATION VERT VERTICAL VEST VESTIBULE VR VAPOR RETARDER VENT THROUGH ROOF W W WIDTH-WIDE WF WIDE FLANGE W WITH W/O WITHOUT WC WALL COVERING WC WATER CLOSET WD WOOD WDW WINDOW WG WALL GUARD WH WALL HYDRANT WHCH WHEELCHAIR WHTR WATER HEATER WP WATERPROOF WR WASTE RECEPTACLE WS WEATHERSTRIP WSCOT WAINSCOT WT WEIGHT WT WINDOW TREATMENT WW WOOD WINDOW WWF WELDED WIRE FABRIC
--	--	--	---	--	--	---	---

PROJECT LOCATION



DESIGN/BUILD NOTES

DESIGN/BUILD DIMENSION NOTE:
DRAWINGS ARE FOR GENERAL REFERENCE ONLY AND SHOULD NOT BE DIRECTLY SCALED. DIMENSIONS INDICATED SHOW GENERAL LAYOUT INTENT ONLY. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS AND REVIEW ALL DISCREPANCIES WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.

DESIGN BUILD PROJECT REQUIREMENTS:
THE INTENT OF THIS DOCUMENT PACKAGE IS TO PROVIDE GENERAL INTERIOR DESIGN INFORMATION FOR THE DESIGN/BUILD CONSTRUCTION OF THE PROJECT. ALL OF THE CONSTRUCTION WORK FOR THE ARCHITECTURE AND INTERIOR DESIGN PORTIONS OF THE PROJECT SHALL BE CARRIED OUT ON A DESIGN/BUILD BASIS AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK, AS REQUIRED, TO PROVIDE A COMPLETE PROJECT. WORK, AS REQUIRED FOR THESE SUB-CONTRACTOR TRADES SHALL BE CARRIED OUT ON A DESIGN/BUILD BASIS, AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL CONSTRUCTION INFORMATION FOR THESE PORTIONS OF THE WORK TO THE OWNER/REPRESENTATIVE AND THE ARCHITECT FOR REVIEW AND GENERAL COORDINATION PRIOR COMMENCING WITH DESIGN/BUILD PORTIONS OF THE WORK.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE WORK OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SUB-CONTRACTOR TRADES. THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE WORK OF THESE SUB-CONTRACTOR TRADES AND ALL CONSTRUCTION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, LOCAL BUILDING DEPARTMENT REQUIREMENTS, PERMITS, AFFIDAVITS, CODE COMPLIANCE WITH ALL NATIONAL AND LOCAL BUILDING CODES, AND ALL OTHER LAWS AND ORDINANCES GOVERNING THE WORK OF THESE TRADES.

PROJECT IMAGE



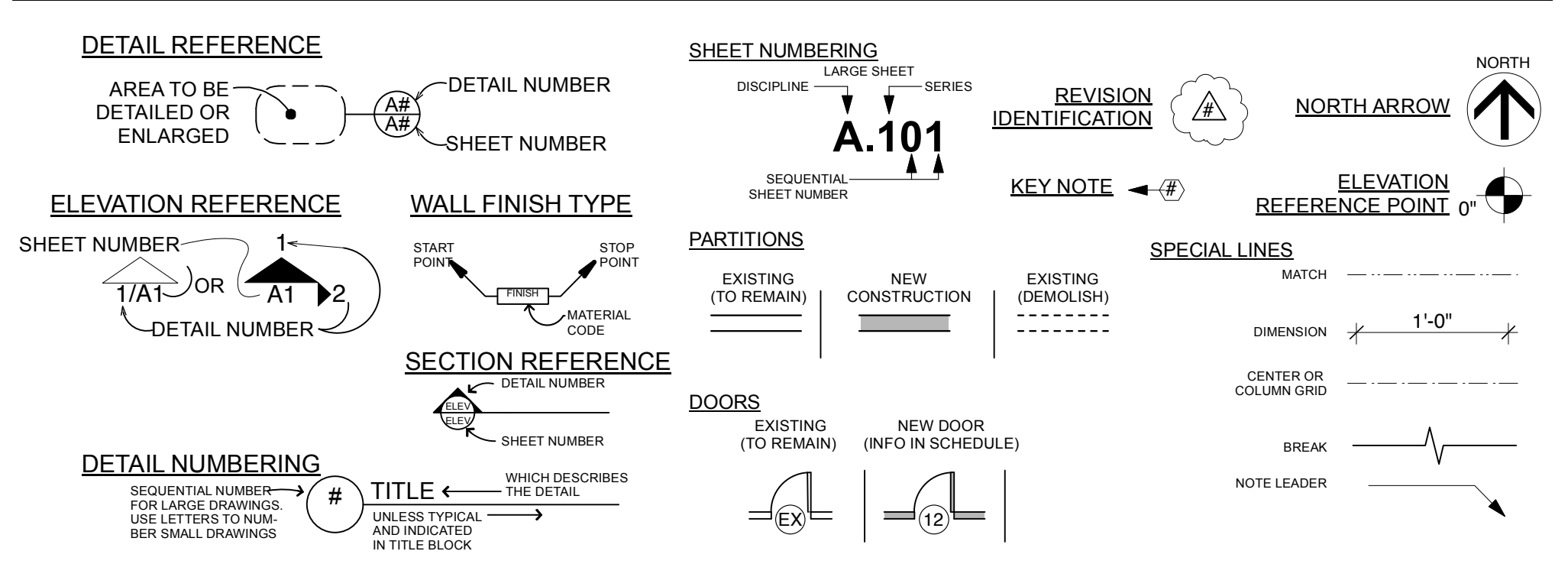
DRAWING RELEASE

PERMIT SET 05.02.22

DRAWING INDEX

ARCHITECTURAL		MECHANICAL, ELECTRICAL, PLUMBING	
A.000	COVER PAGE		
A.001	PROPOSED EXTERIOR RENDERINGS	ALL MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING AND DRAWINGS BY OTHERS (REFER TO DESIGN/BUILD NOTES)	
A.002	ADA / MAAB COMPLIANCE	PENDING	
A.003	BUILDING CODE SUMMARY		
A.004	EGRESS & OCCUPANCY PLANS		
EX.01	EXISTING BASEMENT PLAN		
EX.02	EXISTING FIRST FLOOR PLAN		
EX.03	EXISTING SECOND FLOOR PLAN		
EX.04	EXISTING FRONT ELEVATION		
EX.05	EXISTING SIDE ELEVATION		
EX.06	EXISTING REAR ELEVATION		
AC.100	BOUNDARY/PLOT PLAN		
A.100	PROPOSED BASEMENT PLAN		
A.110	PROPOSED FIRST FLOOR PLANx		
A.120	PROPOSED SECOND FLOOR PLAN		
A.130	PROPOSED THIRD FLOOR PLAN		
A.140	PROPOSED FOURTH FLOOR PLAN		
A.150	PROPOSED FIFTH FLOOR PLAN		
A.160	PROPOSED ROOF PLAN		
A.601A	PROPOSED FRONT ELEVATION - OPTION - A		
A.601B	PROPOSED FRONT ELEVATION - OPTION - B		
A.601C	PROPOSED FRONT ELEVATION - OPTION - C		
A.602	PROPOSED REAR ELEVATION		
A.701	PROPOSED BUILDING SECTION - TYPICAL		
A.702	PROPOSED BUILDING SECTION - STAIR & ELEVATOR.		

SYMBOL LEGEND



project

ADDITIONS AND PLANNING STUDIES

410 MASSACHUSETTS AVE. BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE. BOSTON, MA

contractor

CONTRACTOR ADDRESS CITY, STATE ZIP

structural

STRUCTURAL ENGINEER ADDRESS CITY, STATE ZIP

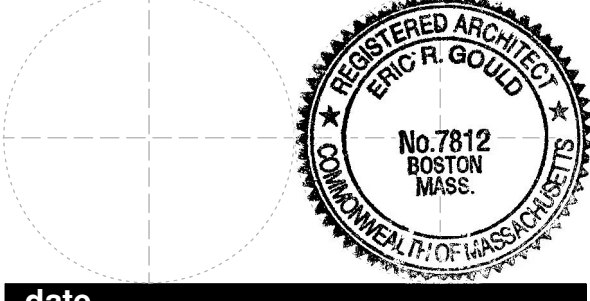
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MEP ENGINEER ADDRESS CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
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	12.05.22	DES DEV REV #1

stamp



date

05.06.22

phase

PERMIT SET

north



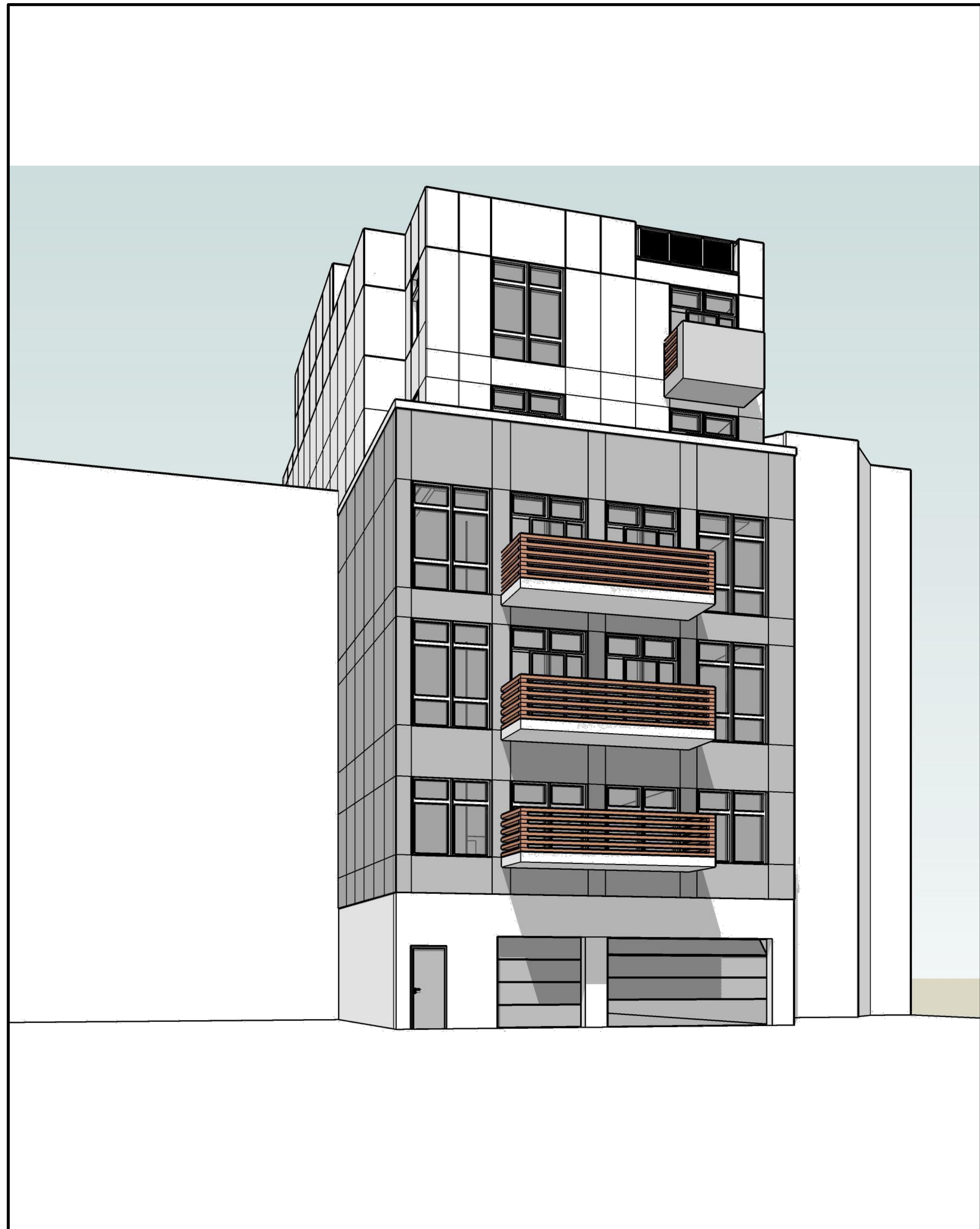
sheet title

COVER SHEET

DRWN / CHCKD sheet number

A.000 OF

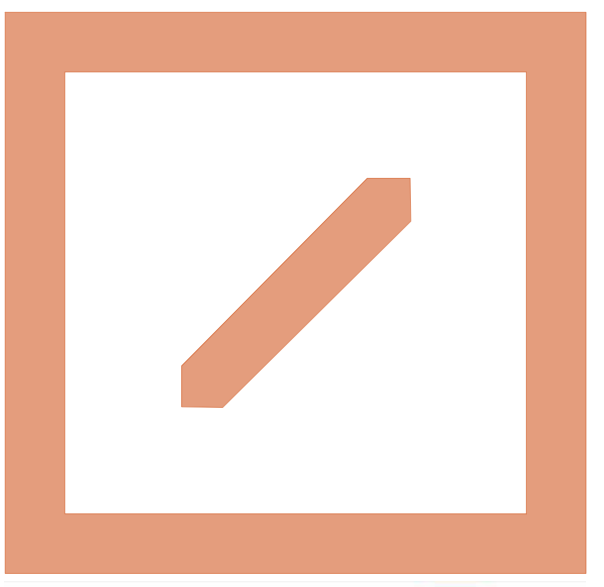
scale



2 EXTERIOR RENDERING - REAR (ALLEY)
SCALE: NTS



1 EXTERIOR RENDERING -FRONT (STREET)
SCALE: NTS



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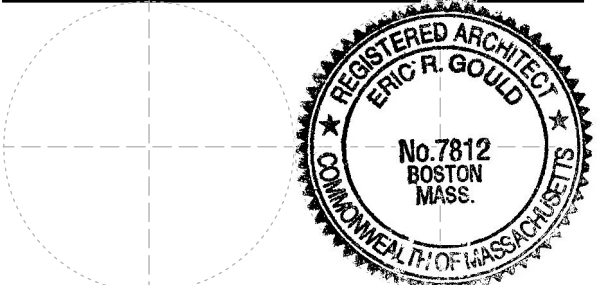
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	05.06.22	PERMIT SET

stamp



date

05.06.22

phase

PERMIT SET

north

sheet title

PROPOSED RENDERINGS

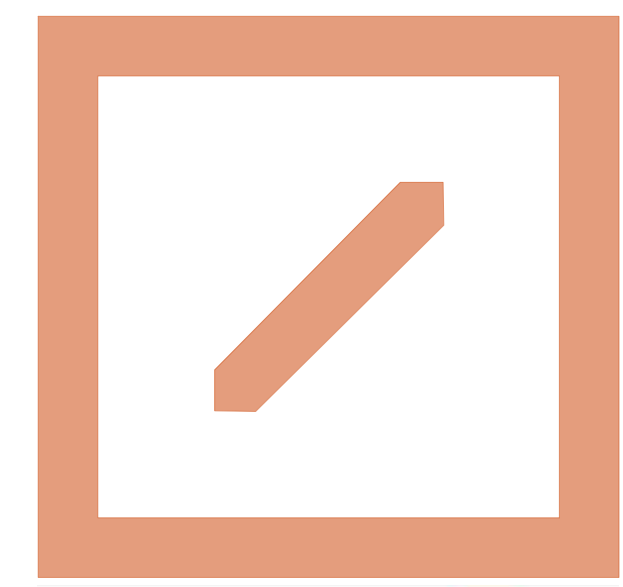
DRWN / CHCKD

sheet number

A.001

scale

OF



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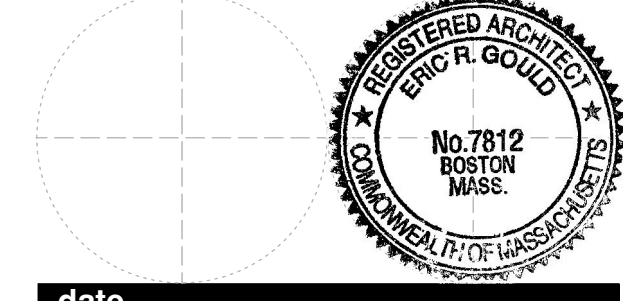
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MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

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	12.05.22	DES DEV REV #1

stamp



date 05.06.22

phase PERMIT SET

north

sheet title PROPOSED RENDERINGS

DRWN / CHCKD
sheet number

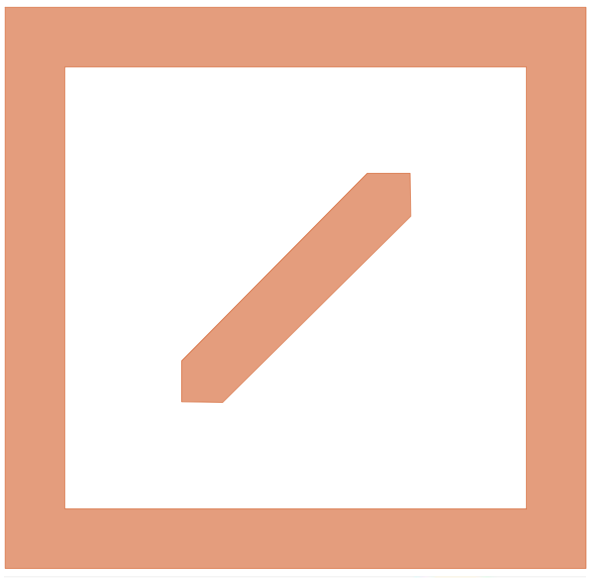
A.001-B

OF

scale



1 EXTERIOR RENDERING -NIGHT VIEW
SCALE: NTS



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 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

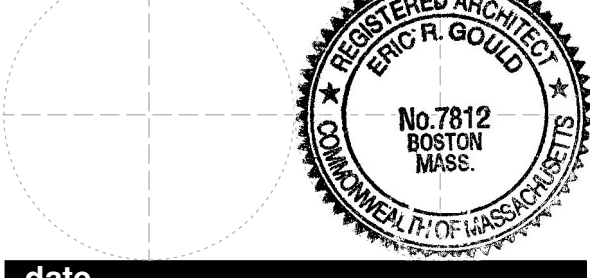
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MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

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	12.05.22	DES DEV REV #1

stamp



date 05.06.22

phase PERMIT SET

north

sheet title
 PROPOSED RENDERINGS

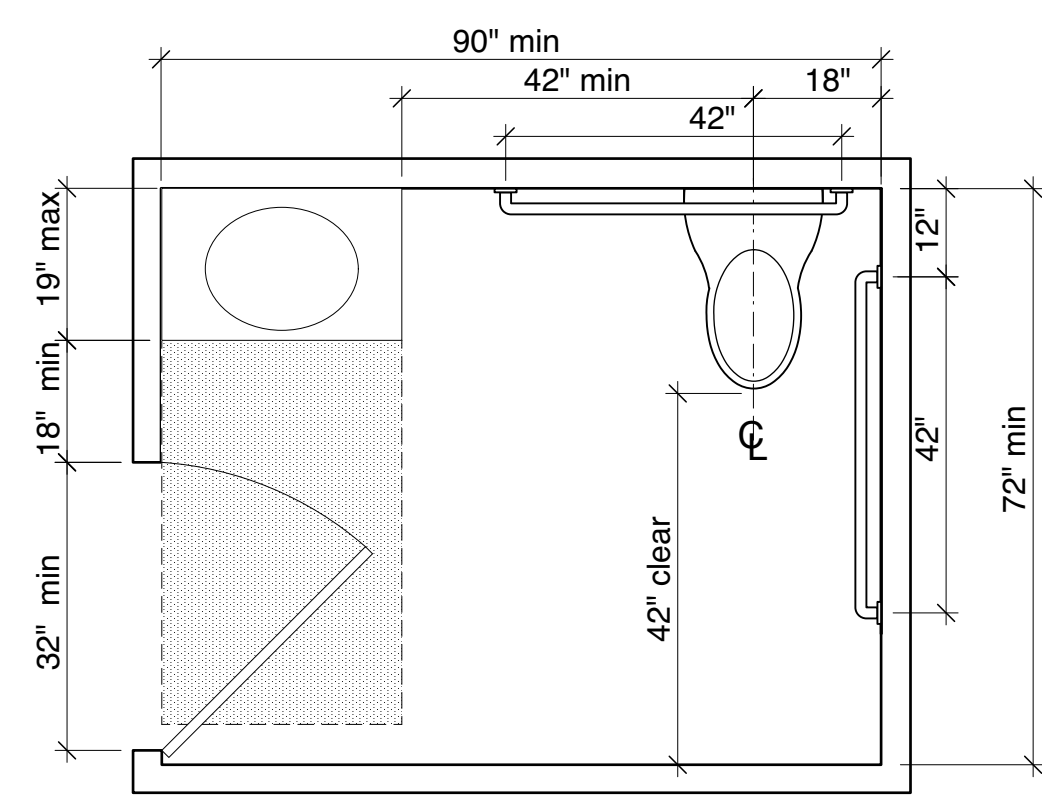
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sheet number

A.001-C

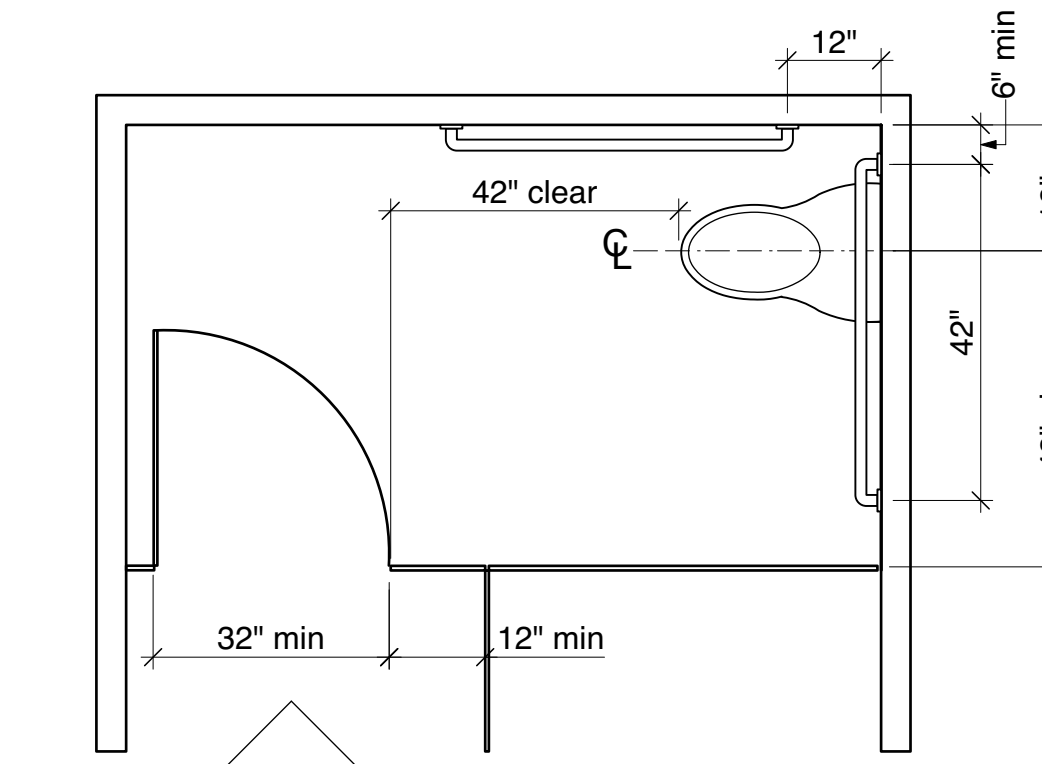
OF
scale

1 EXISTING MASSACHUSETTS AVENUE 2022
 SCALE: NTS

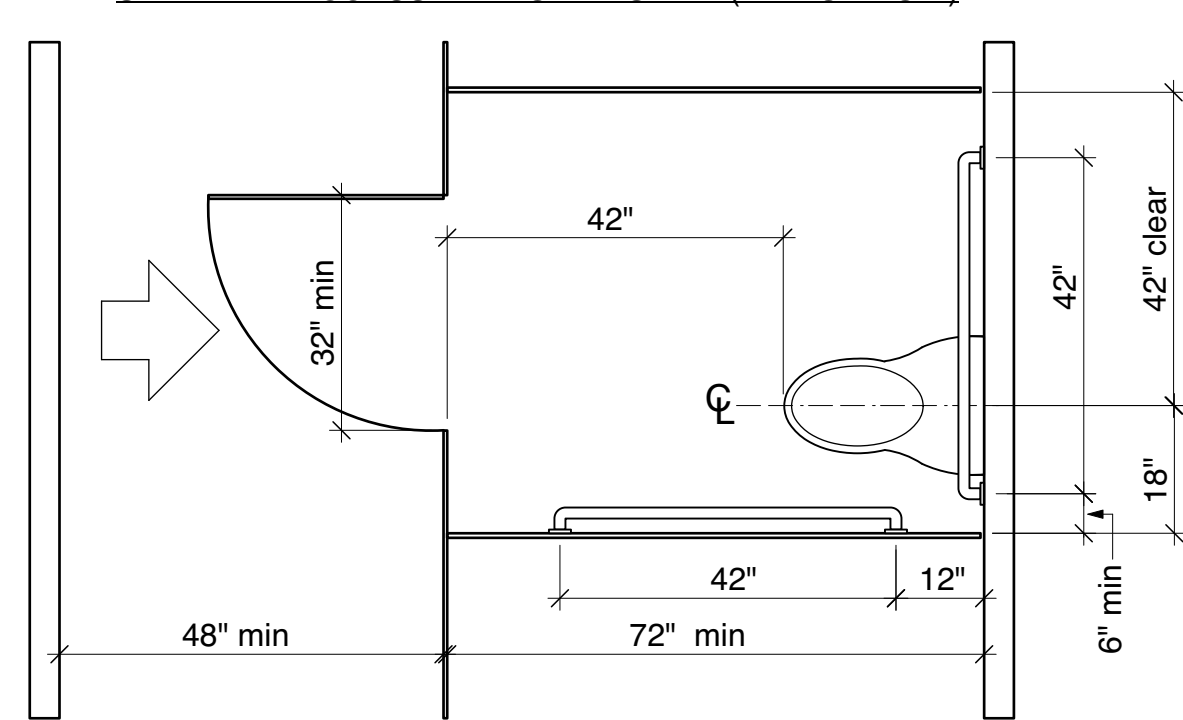
NOTE: AT LEAST ONE STANDARD ACCESSIBLE STALL IS TO BE PROVIDED IN ALL PUBLIC TOILET ROOMS UNLESS A SEPERATE, UNISEX, ACCESSIBLE TOILET ROOM IS INDICATED. AT LEAST ONE ACCESSIBLE URINAL IS TO BE PROVIDE IN ALL TOILET ROOMS THAT PROVIDE URINALS.



STANDARD ACCESSIBLE UNISEX TOILET ROOM

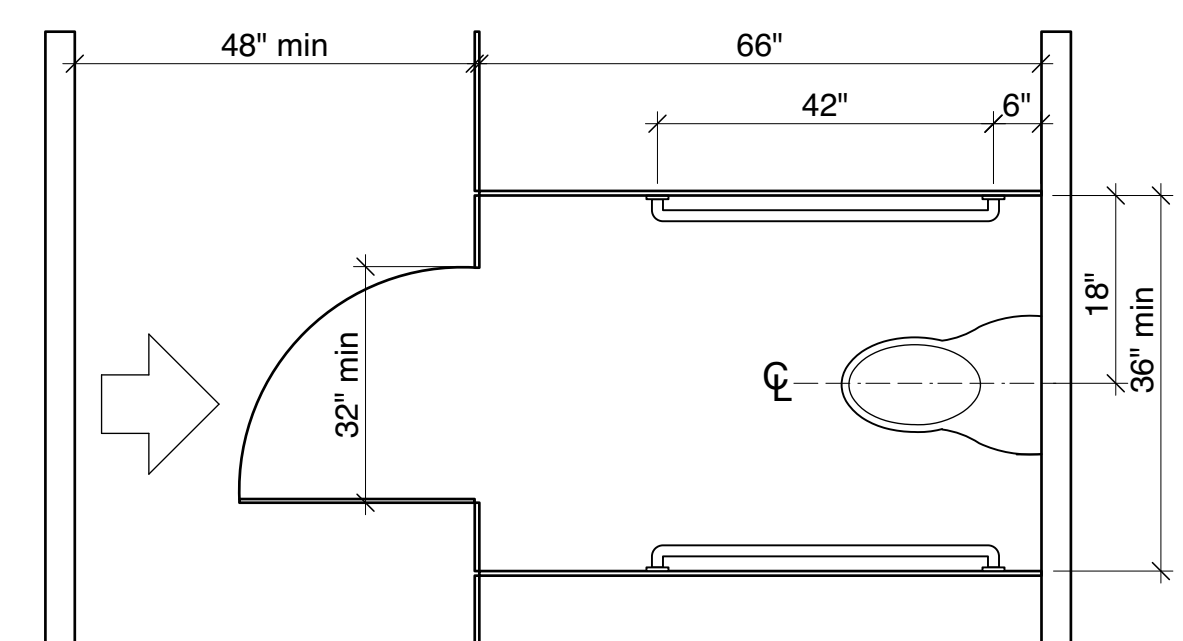


STANDARD ACCESSIBLE TOILET STALL (END OF ROW)

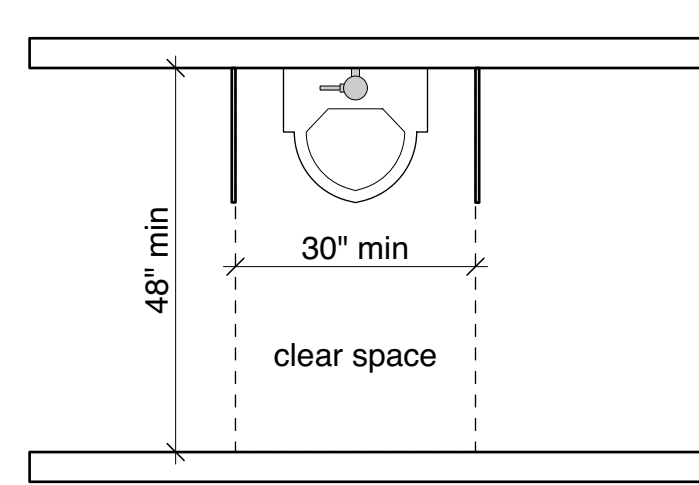


STANDARD ACCESSIBLE TOILET STALL (FRONT APPROACH)

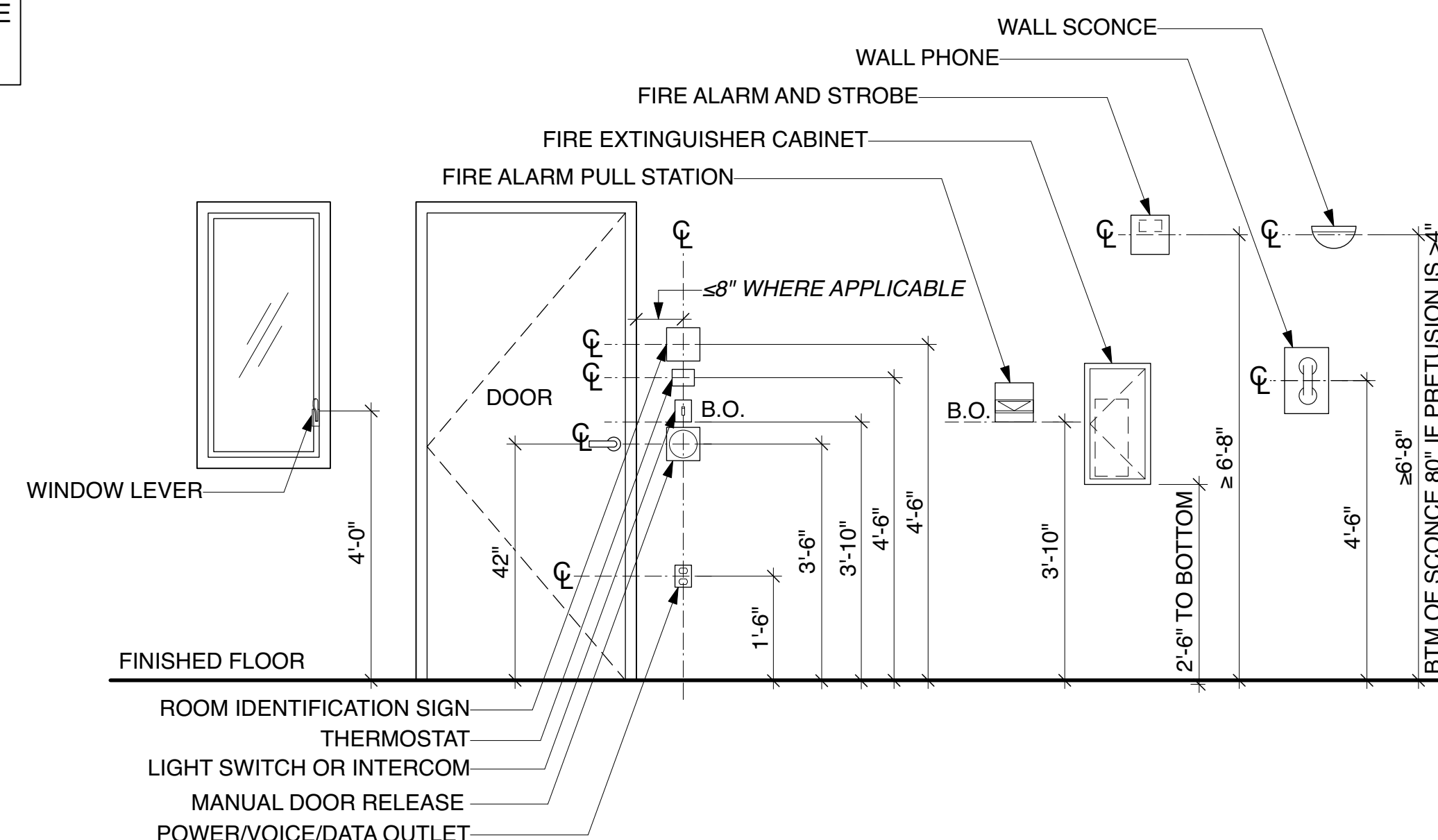
NOTE: IN PUBLIC TOILET ROOM CONTAINING SIX OR MORE TOTAL TOILET FIXTURES, AT LEAST ONE MUST BE IN AN ALTERNATE ACCESSIBLE STALL. (THE REQUIREMENT THAT ANOTHER MUST BE IN A STANDARD ACCESSIBLE STALL REMAINS.)



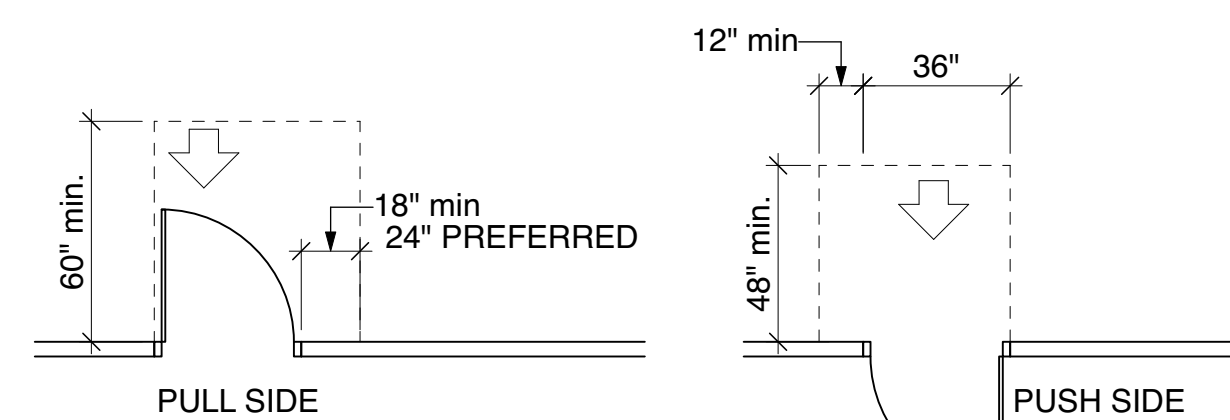
ALTERNATE ACCESSIBLE TOILET STALL



ACCESSIBLE URINAL

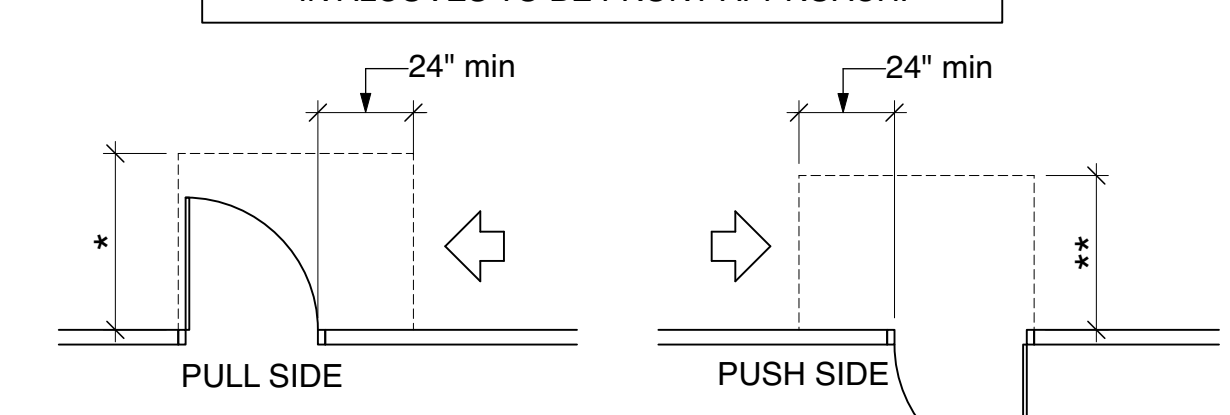


4 EQUIPMENT MOUNTING HEIGHTS



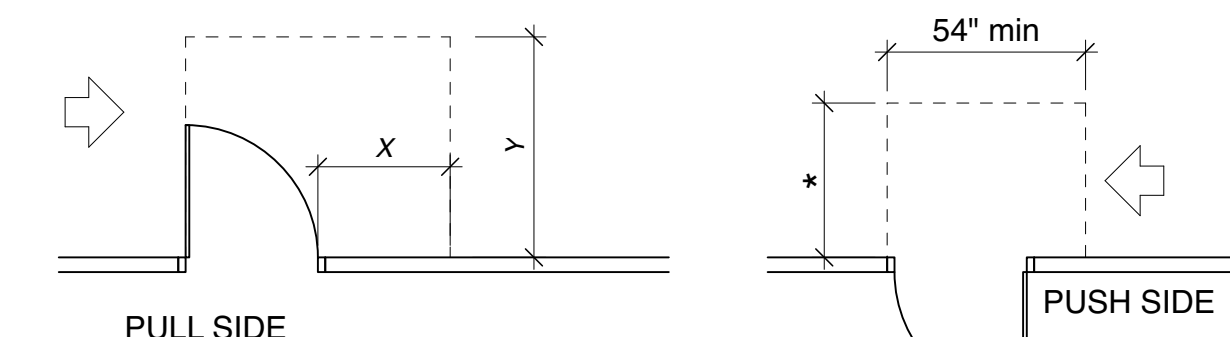
FRONT-APPROACH - SWING DOORS

NOTE: ACCESSIBILITY CODE CONSIDERS DOORS IN ALCOVES TO BE FRONT-APPROACH.



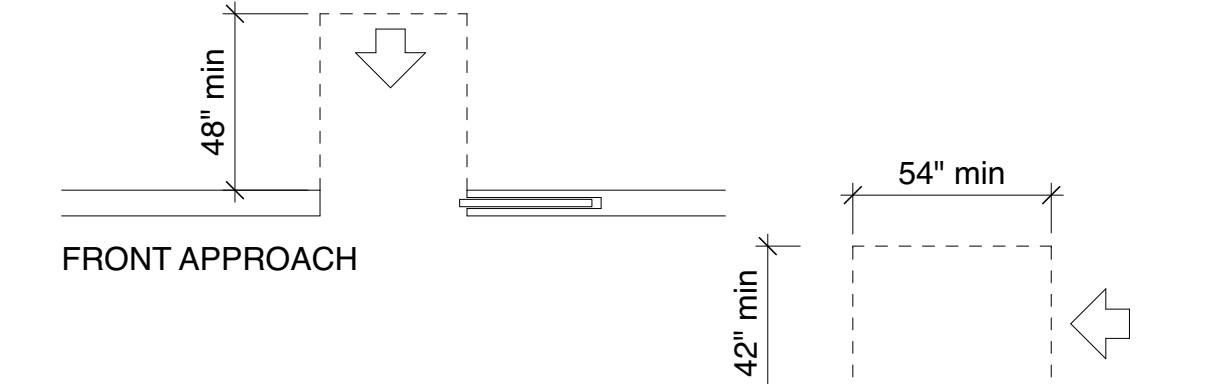
* CLEAR SPACE IS 48" MIN. IF DOOR HAS NO CLOSER, 54" MIN. IF DOOR HAS CLOSER.
** CLEAR SPACE IS 42" MIN. IF DOOR HAS NO CLOSER, 48" MIN. IF DOOR HAS CLOSER.

LATCH SIDE APPROACHES-SWINGING DOORS

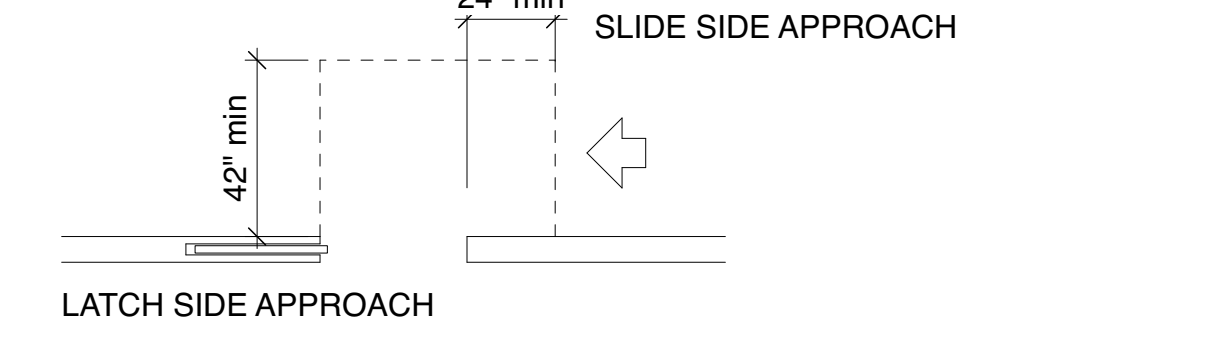


X MUST BE ≥36" AND Y MUST BE ≥54". IF Y IS ≤60" X MUST BE ≥42".
* CLEAR SPACE IS 42" MIN. IF DOOR HAS NO CLOSER OR NO LATCH, 48" MIN. IF DOOR HAS BOTH CLOSER AND LATCH.

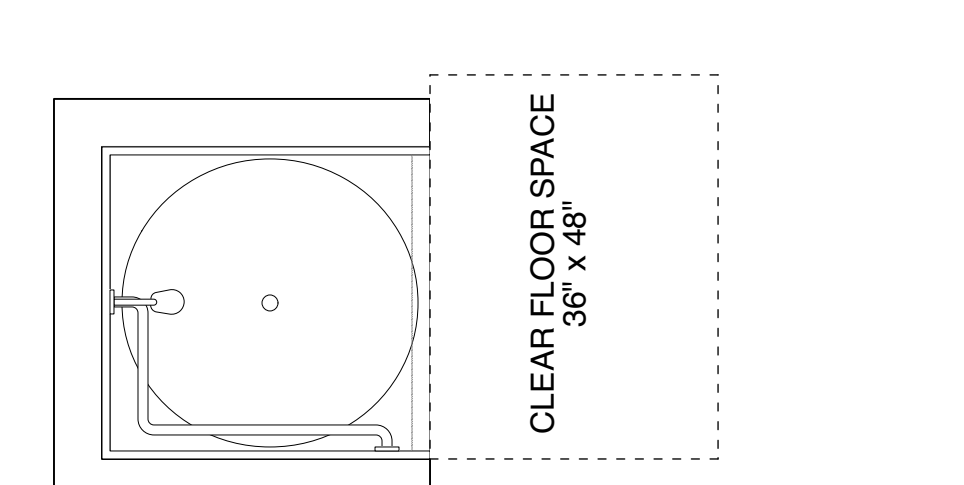
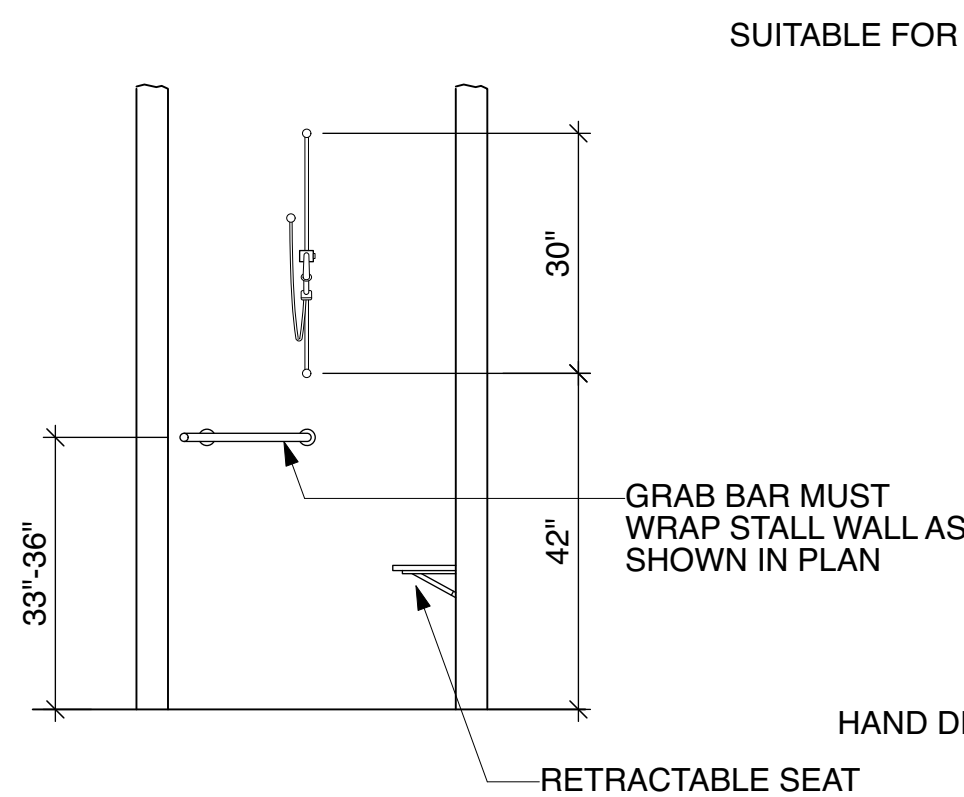
HINGE SIDE APPROACHES-SWINGING DOORS



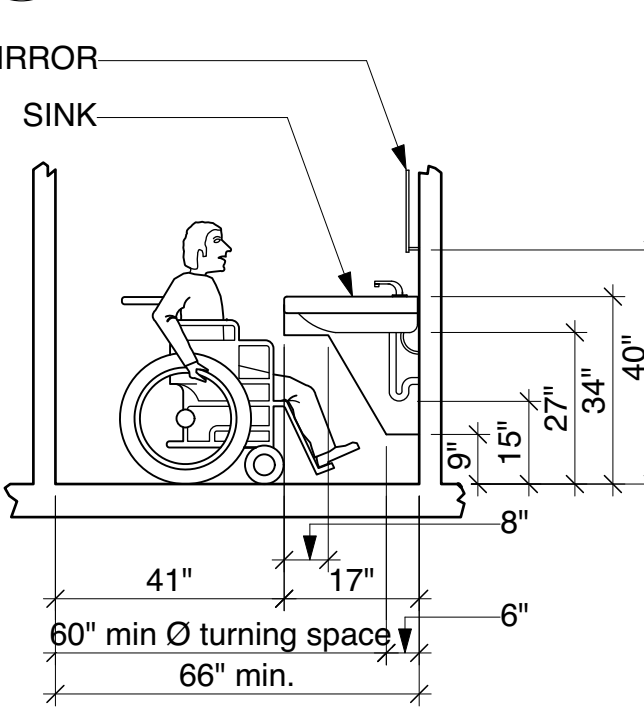
LATCH SIDE APPROACHES-SLIDING DOORS



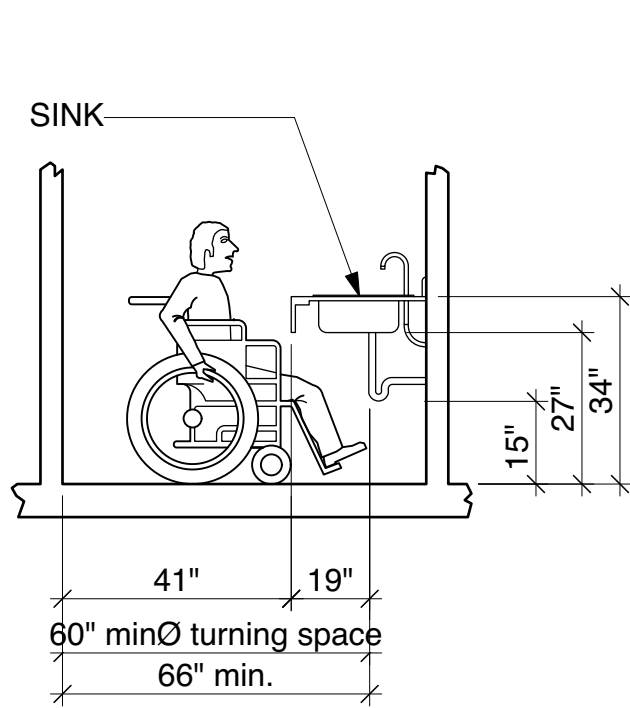
LATCH SIDE APPROACHES-SLIDING DOORS



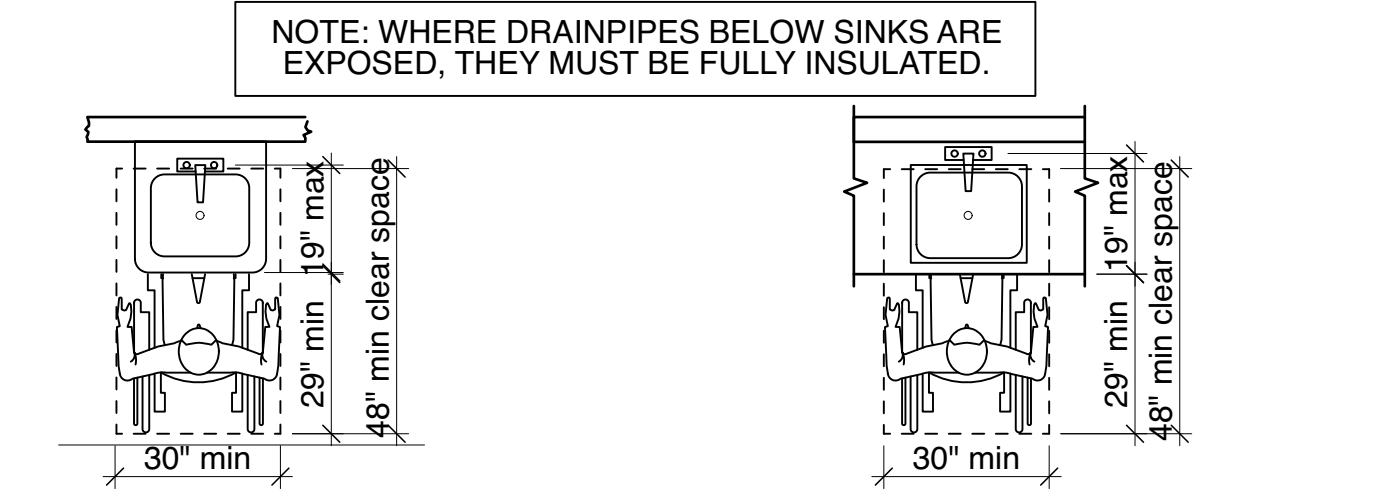
5 HANDICAP USABLE SHOWER



HANDICAP LAVATORY



HANDICAP USABLE SINK

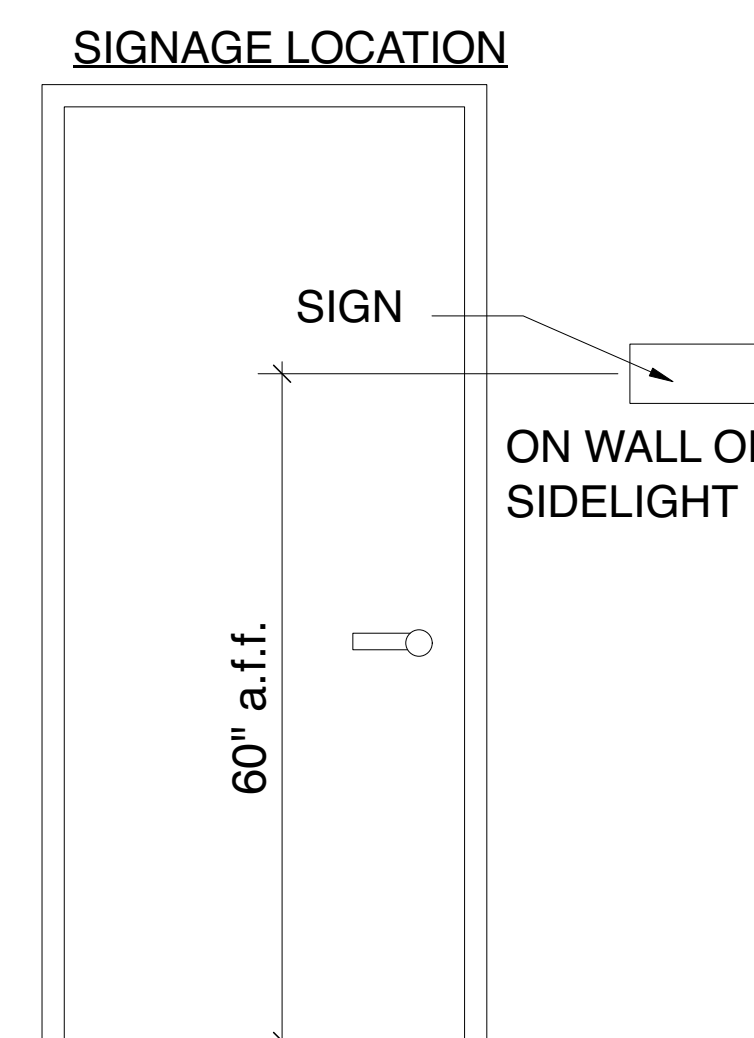


PLAN @ HANDICAP LAVATORY

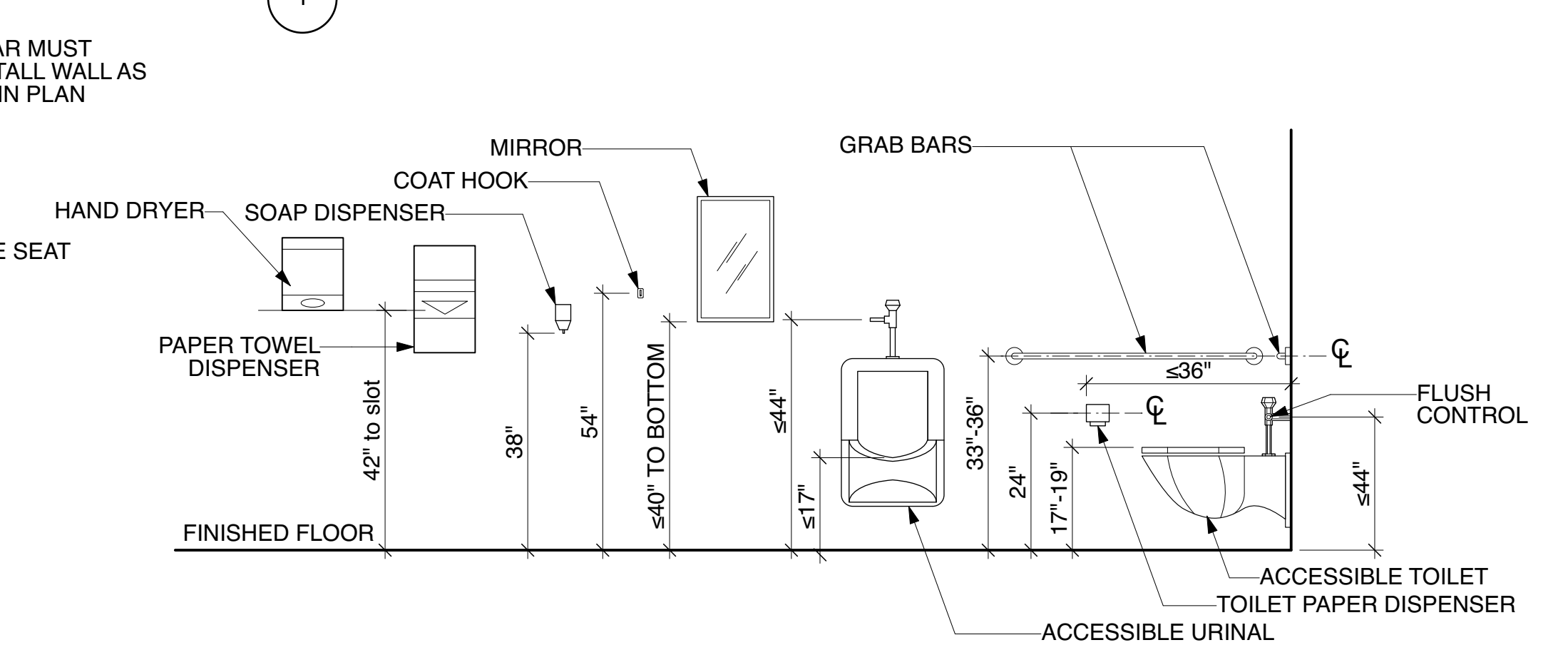
PLAN @ HANDICAP USABLE SINK OR WORK SURFACE

6 HANDICAP LAVATORY / USABLE SINK

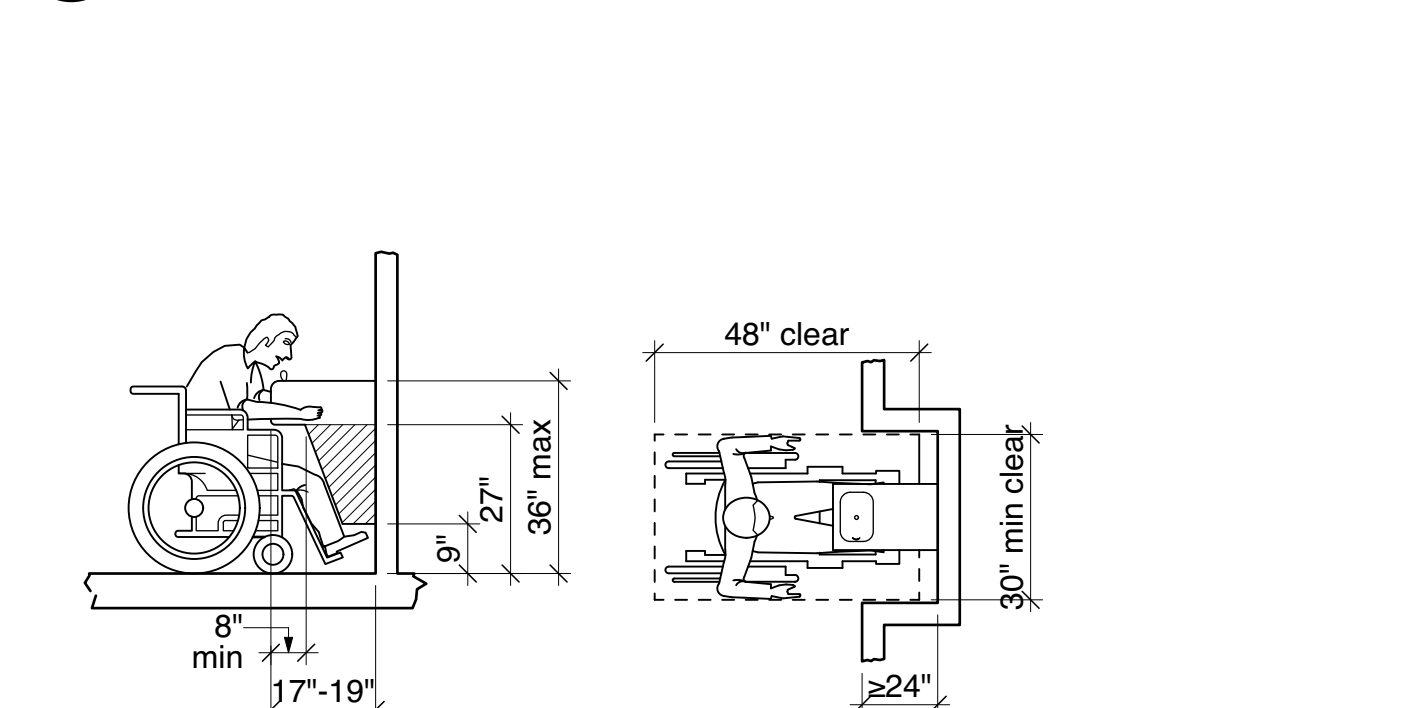
1 SIGNAGE



ON WALL OR SIDELIGHT



2 TOILET ACCESSORY MOUNTING HEIGHTS



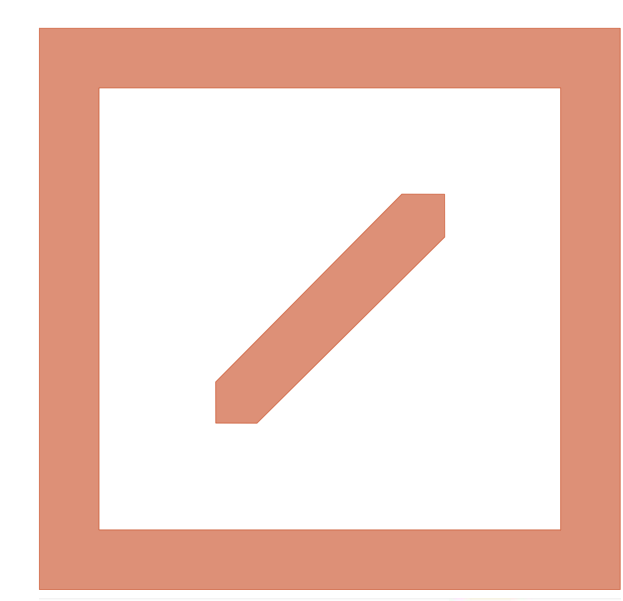
3 DRINKING FOUNTAIN / WATER COOLER

NOTE
THE CONDITIONS ILLUSTRATED ON THIS SHEET CONSTITUTE LEGAL STANDARDS FOR HANDICAPPED ACCESSIBILITY. THEY MAY NOT CONSTITUTE ACTUAL ARCHITECTURAL CONDITIONS FOR THE COURSE OF WORK DESCRIBED IN THIS DOCUMENT SET. SEE FOLLOWING ARCHITECTURAL DRAWINGS FOR ACTUAL EXTENT OF WORK.

GENERAL CONTRACTOR IS TO INFORM ARCHITECT WHEN, BECAUSE OF FIELD CONDITIONS OR FOR OTHER REASONS, ACTUAL CONSTRUCTION WILL NOT CONFORM TO THESE STANDARDS.

REFER TO MASS 521 CMR 30.14 - 30.20 FOR ALL CHILDREN'S DIMENSIONS

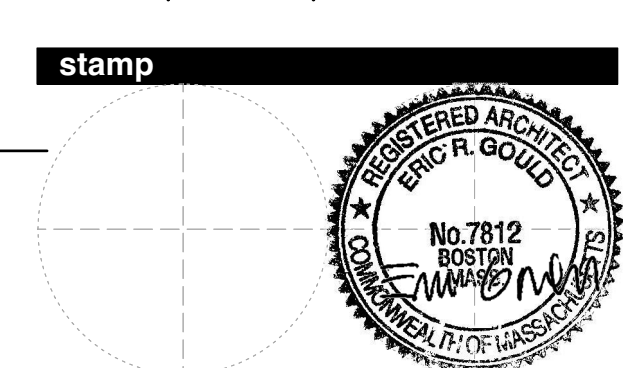
*ALL SIGNAGE TO COMPLY WITH ADA AND MASS. ARCH. ACCESS BOARD REQUIREMENTS
*FINAL GRAPHICS TO BE APPROVED BY ARCHITECTS/TENANT
*TEMPORARY SIGNAGE TO BE SUPPLIED BY TENANT
*PROVIDE PLASTIC SIGNS AS NOTED.
PLASTIC BASE WITH RAISED LETTERING AND BRAILLE WHERE REQUIRED.
SIZE: MINIMUM 1/16" THICK X LENGTH AND HEIGHT AS INDICATED.
EDGE PROFILE: SQUARE.
TEXT AND LETTER STYLE: AS INDICATED, ACID ETCHED GRAPHICS TO CONFORM TO ADA REQUIREMENTS.
FINISHES: CONFIRM WITH ARCHITECT, SEE FINISH SPEC.
PLAQUE: PLASTIC
MOUNTING: CONCEALED TO SERIES 322 FRAME.
*PROVIDE CONCEALED FASTENERS OR ADHESIVES AS RECOMMENDED BY MANUFACTURERS AND AS REQUIRED FOR PERMANENT AND SECURE MOUNTING TO SUBSTRATES INDICATED. SUITABLE FOR CONDITIONS OF APPLICATION AND USE.



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MEP
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CITY, STATE ZIP

issue / revisions	MARK	DATE	DESCRIPTION
		05.06.22	PERMIT SET



date
05.06.22
phase
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north

sheet title
MAAB / ADA COMPLIANCE

DRWN / CHKCD
sheet number
A.002
OF
scale

EGRESS + OCCUPANCY PLAN LEGEND

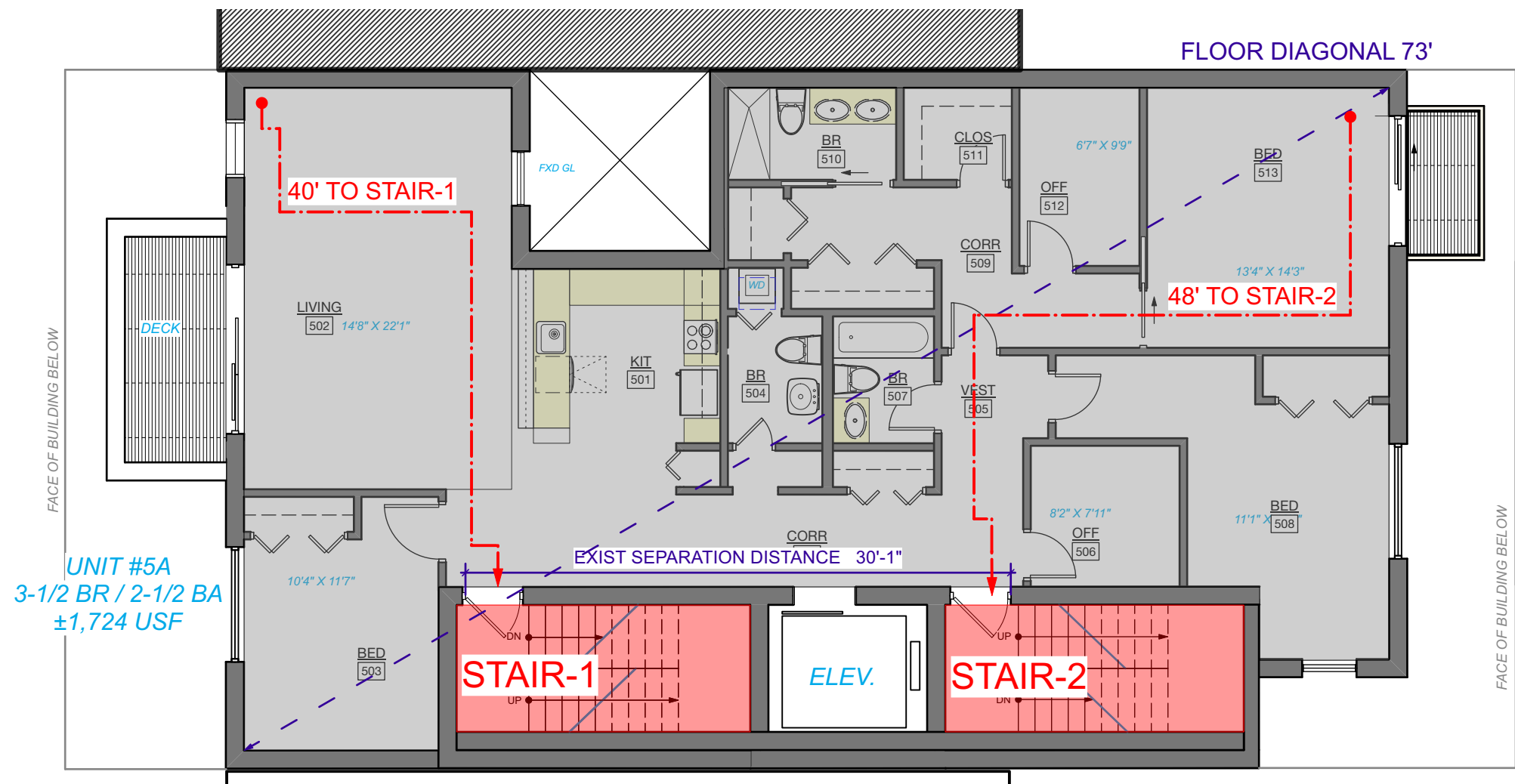
- USE GROUP S-2 (PARKING)
- USE GROUP M (RETAIL)
- USE GROUP R2 (RESIDENTIAL)
- EXIT ACCESS TRAVEL DISTANCE (MAX ALLOWED: 250')
- COMMON PATH OF EGRESS TRAVEL (MAX ALLOWED: 125')
- POINT WHERE TWO SEPARATE AND DISTINCT PATHS OF EGRESS TRAVEL TO TWO EXITS ARE AVAILABLE

OCCUPANCY LOAD

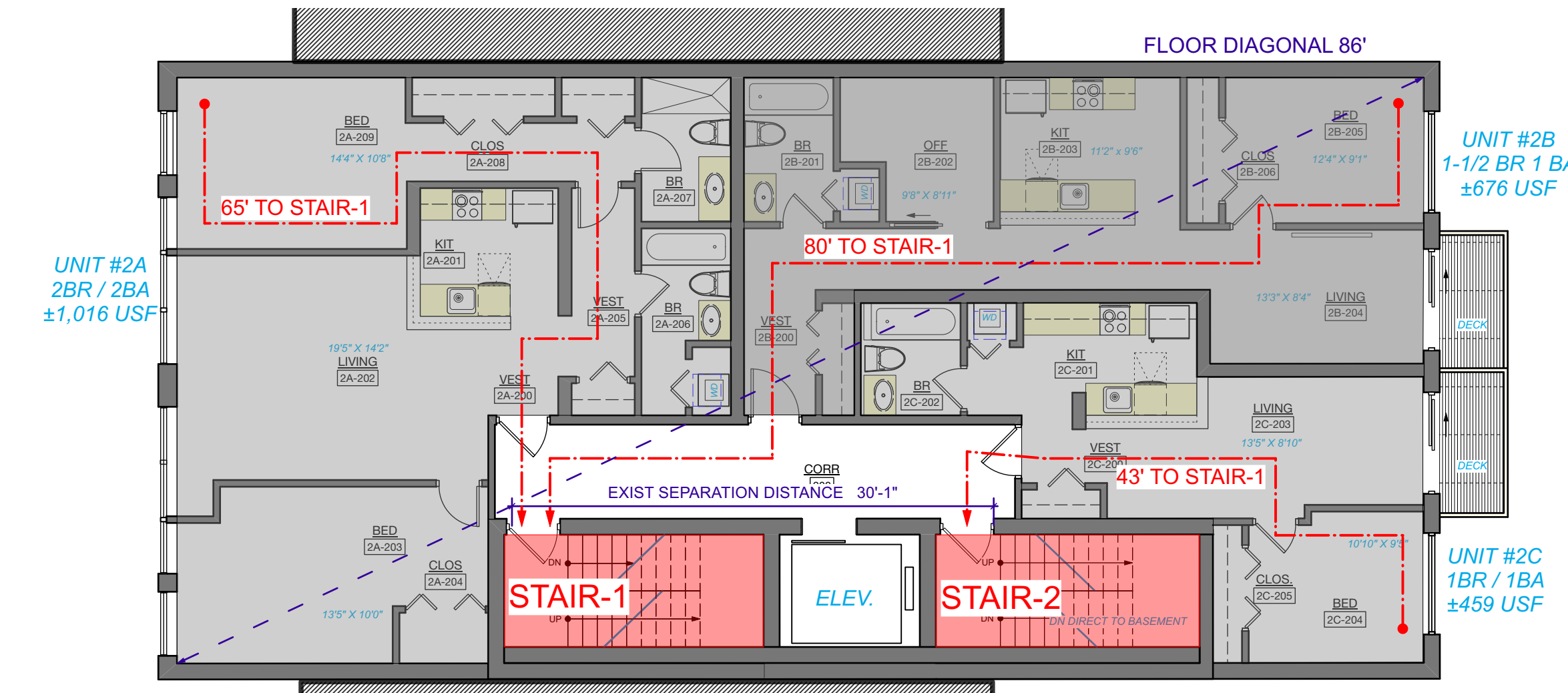
FLOOR	USE GROUP	NET AREA (SF)	OCCUPANT LOAD FACTOR	MAX. OCCUPANT LOAD
BASEMENT	S-2	3,000 SF	200 GROSS	15
1ST FLR	M	660 SF	60 GROSS	11
	R2	2,340 SF	200 GROSS	12
2ND FLR	R2	3,000 SF	200 GROSS	15
3RD FLR	R2	3,000 SF	200 GROSS	15
4TH FLR	R2	3,000 SF	200 GROSS	15
5TH FLR	R2	3,000 SF	200 GROSS	15
				98

EGRESS CAPACITY TABLE

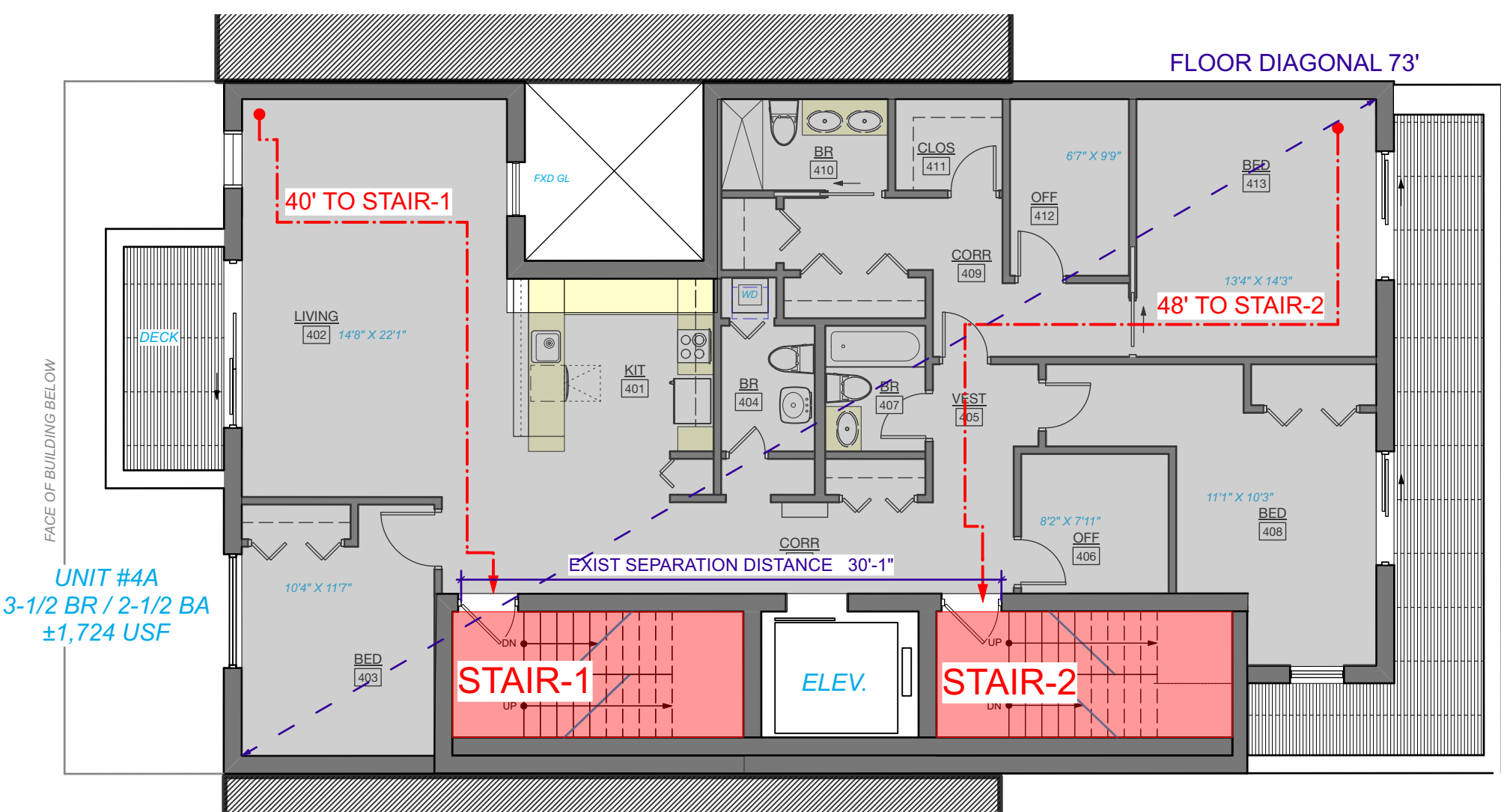
NAME	EGRESS ELEMENT	CLEAR WIDTH (IN.)	LOAD FACTOR (IN./PERSON)	CAPACITY
EXIT 1	STAIR	36	0.3	120
	DOOR	32	0.2	160
EXIT 2	STAIR	36	0.3	120
	DOOR	32	0.2	160
TOTAL EGRESS CAPACITY				240



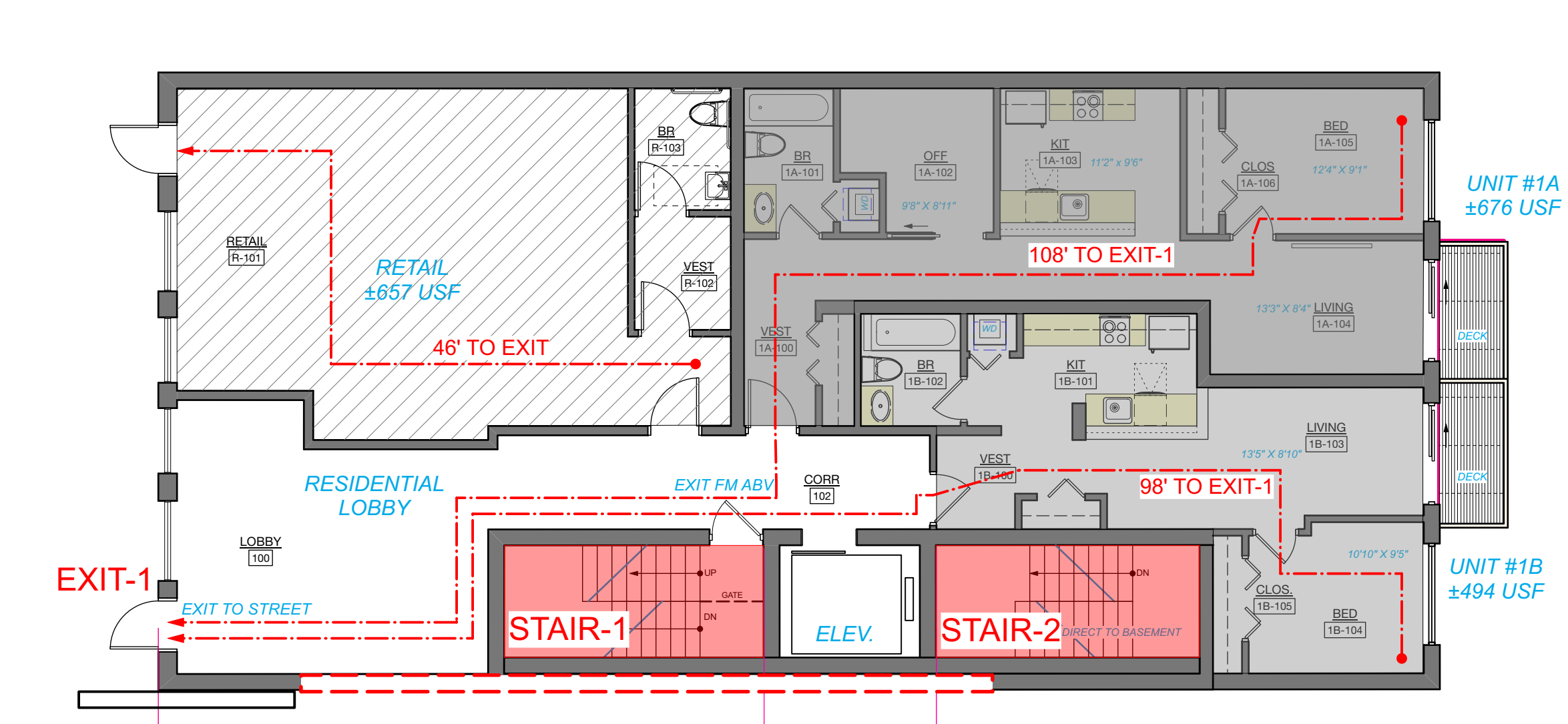
6 FIFTH FLOOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"



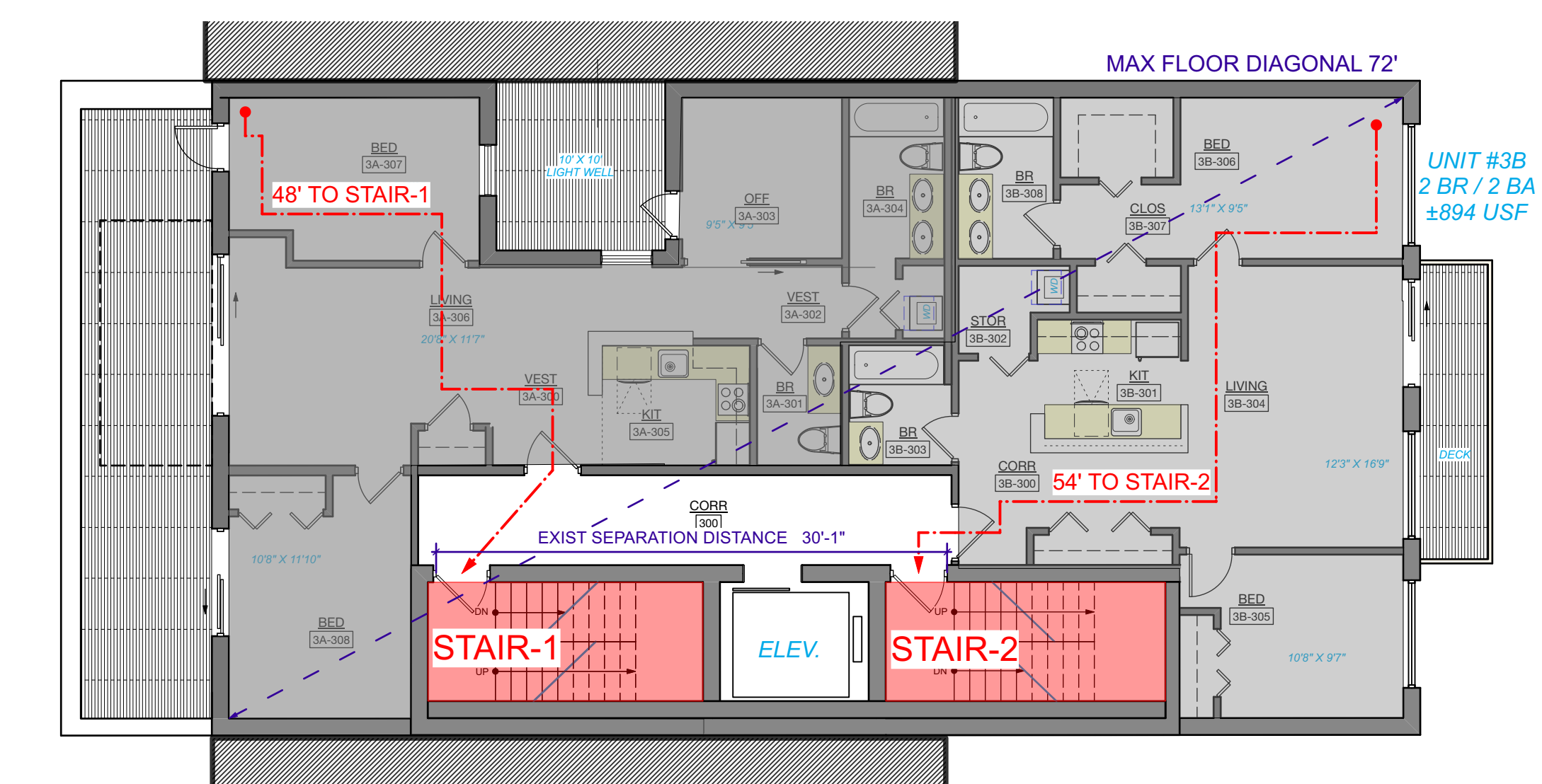
3 SECOND FLOOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"



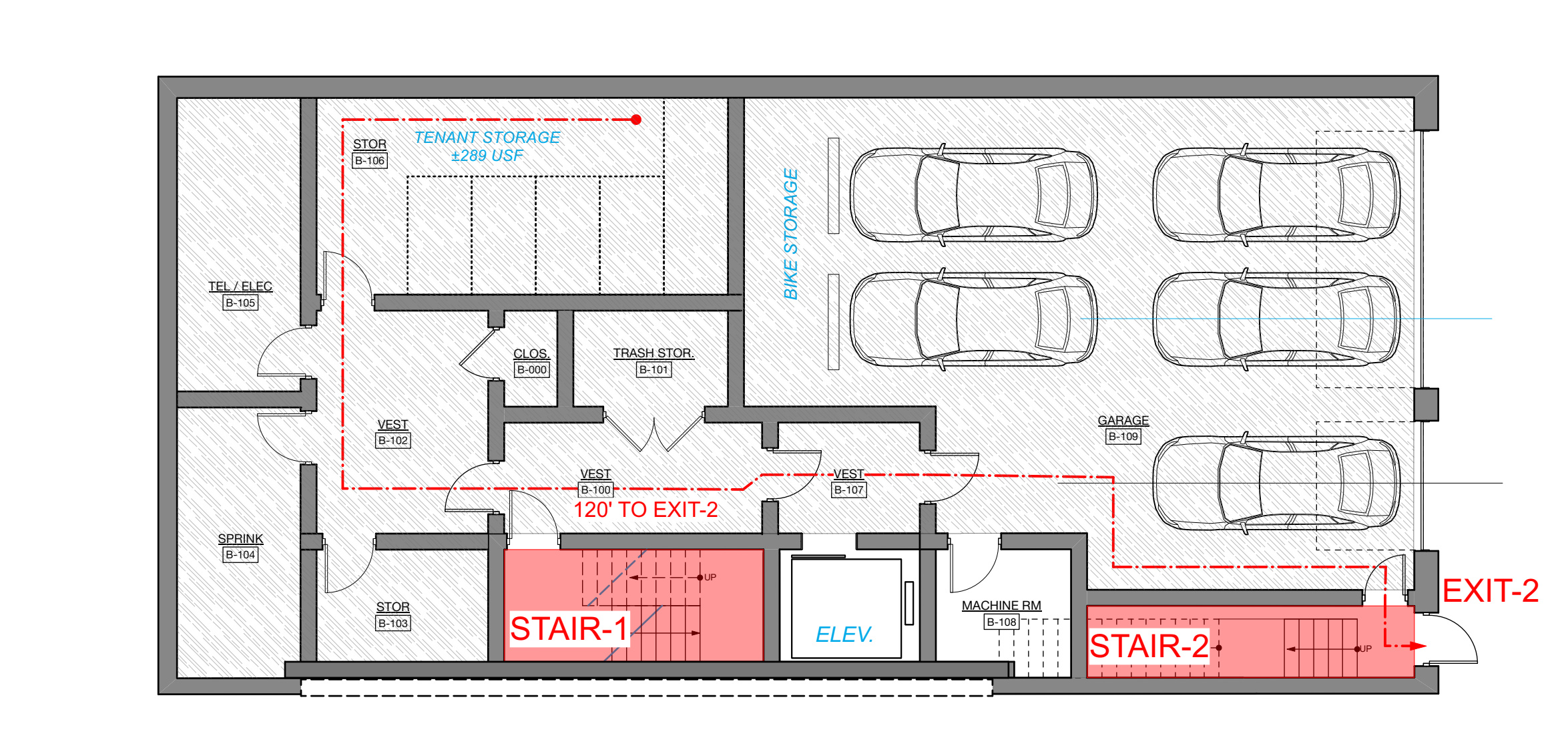
5 FOURTH FLOOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"



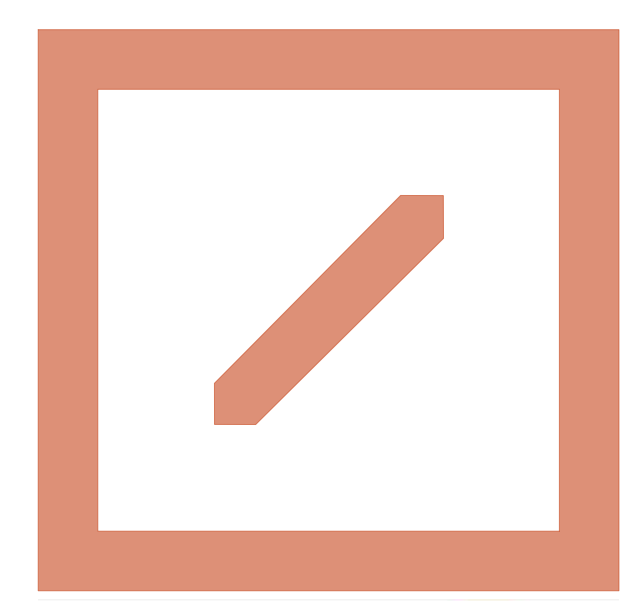
2 FIRST FLOOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 THIRD- FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT - FLOOR PLAN
SCALE: 1/8" = 1'-0"



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410 MASSACHUSETTS AVE.
BOSTON, MA

CAD FILE:
client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

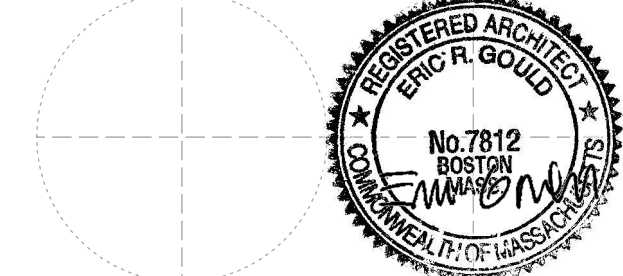
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET

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date 05.06.22

phase PERMIT SET

north



sheet title

EGRESS & OCCUPANCY PLANS

DRWN / CHKCD
sheet number

A.004

OF

scale AS NOTED

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Laser Scanning Notes:

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Revision Schedule

Revision Number	Revision Description	Revision Date

Existing Basement Floor Plan

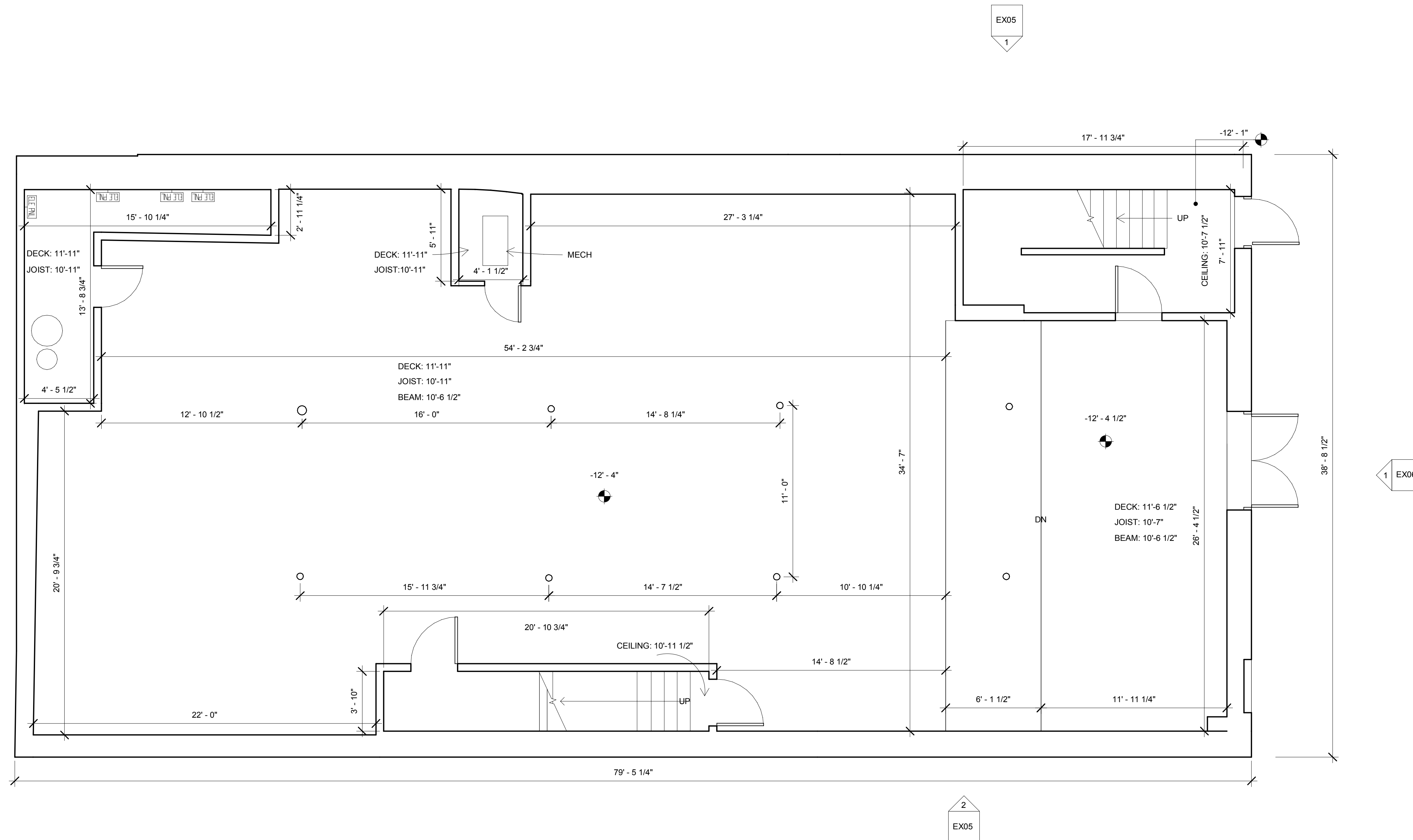
Gross Area Schedule	
Level	Area
Basement	3068 SF
First Floor	3095 SF
Second Floor	3095 SF
Total	9258 SF

Date: 11/22/2021

Scale: 1/4" = 1'-0"

Drawn By: EC

EX01



EX05
1

EX06
1

EX05
2

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Revision Number	Revision Description	Revision Date

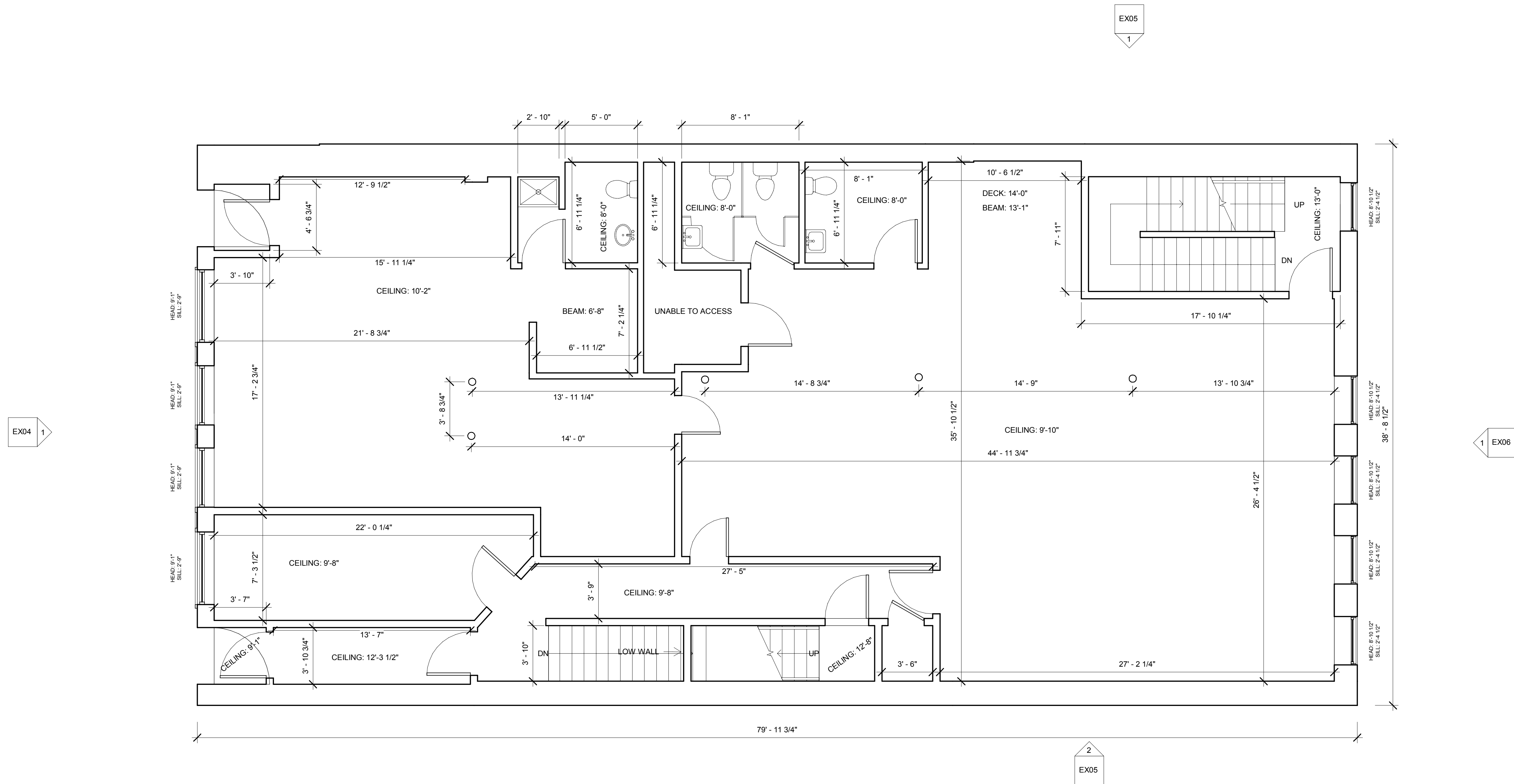
Existing First Floor Plan

Date: 11/22/2021

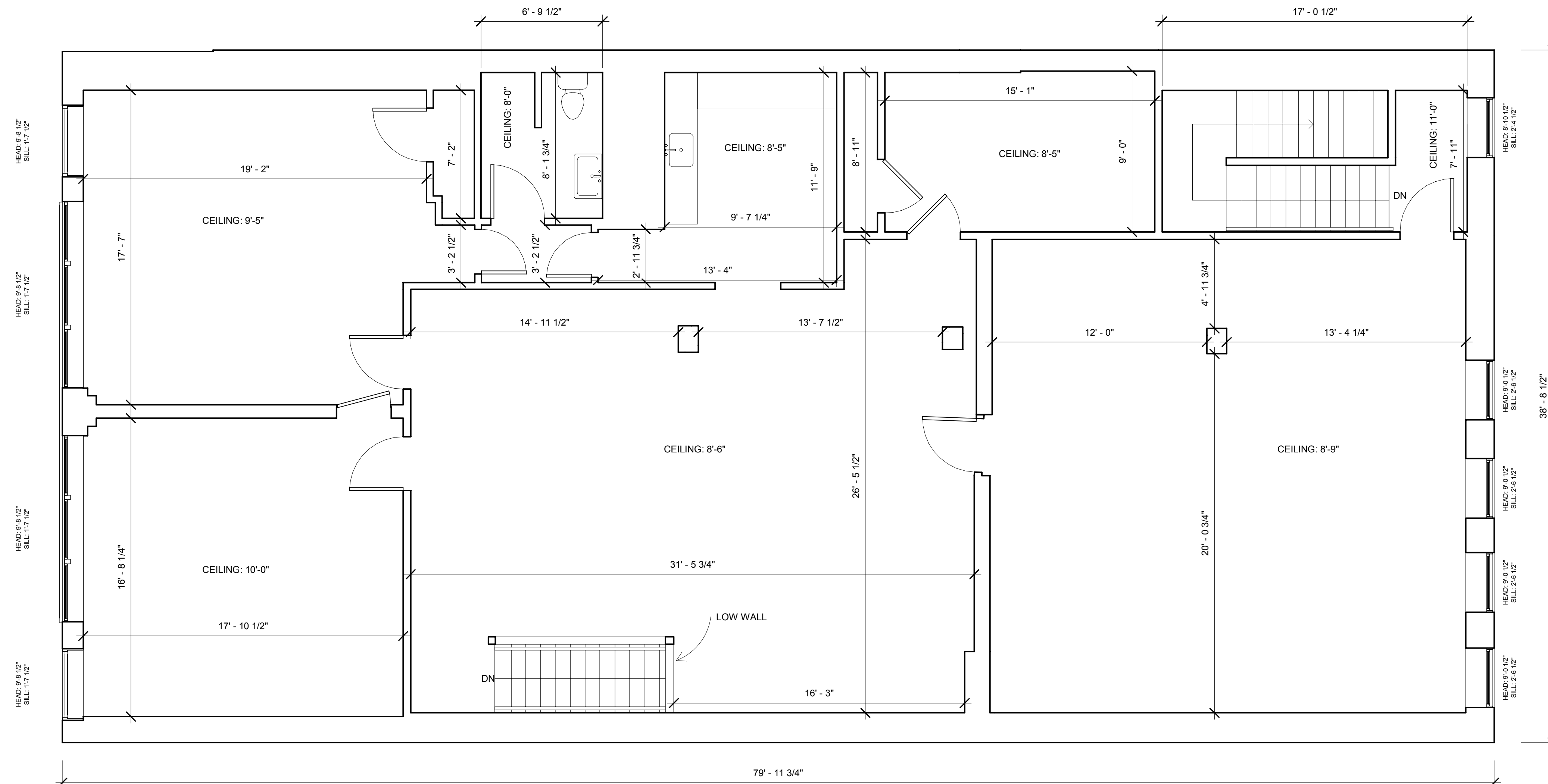
Scale: 1/4" = 1'-0"

Drawn By: EC

EX02



EX04 1



EX05 2

EX06 1

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Revision Schedule

Revision Number	Revision Description	Revision Date

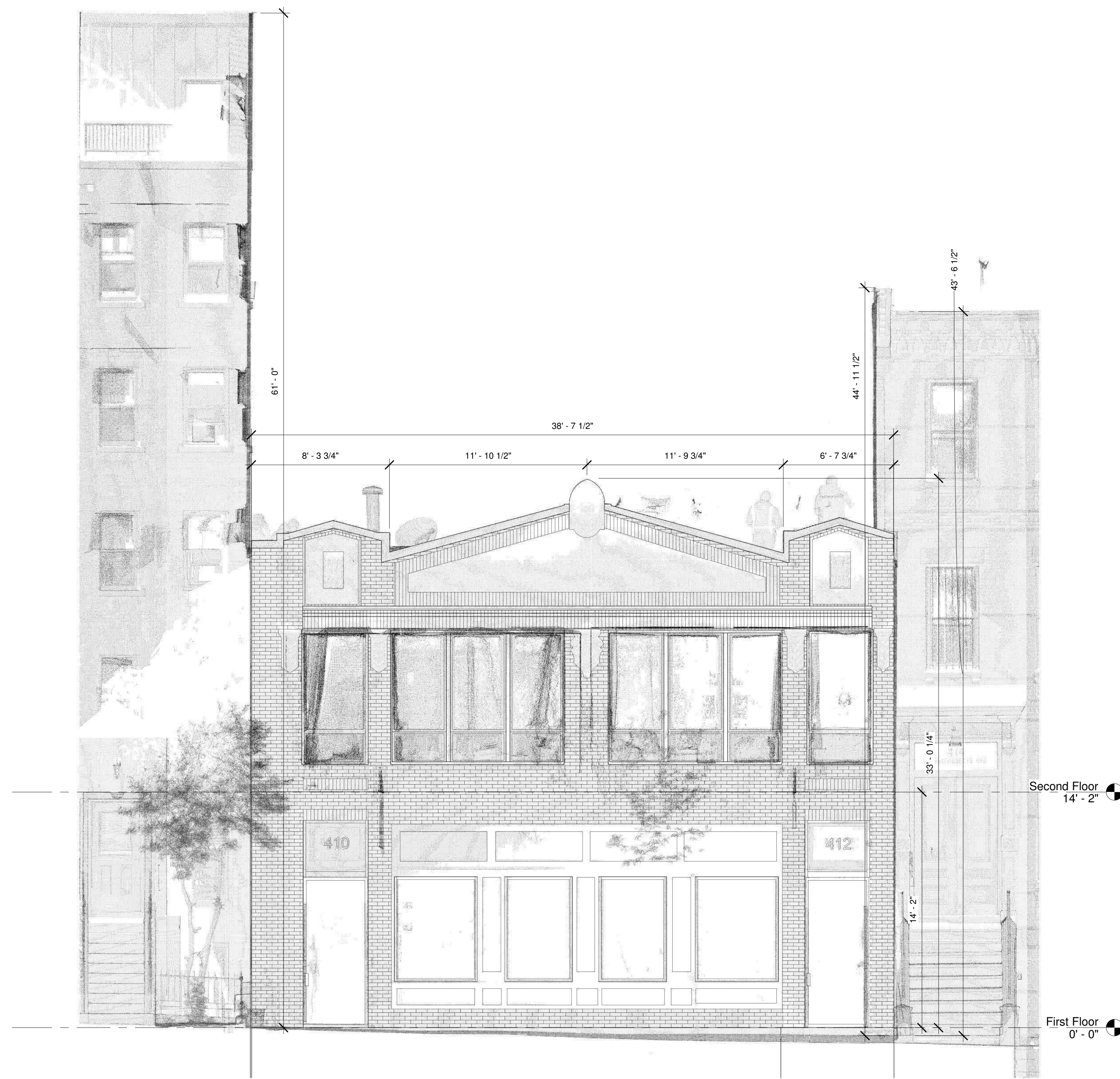
Existing Second Floor Plan

Date: 11/22/2021

Scale: 1/4" = 1'-0"

Drawn By: EC

EX03



Note: Heights of adjacent properties were not part of the scope of work and are added as a courtesy. These dimensions are a reference only and not to be used for permitting, construction or any other use.

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Revision Schedule

Revision Number	Revision Description	Revision Date

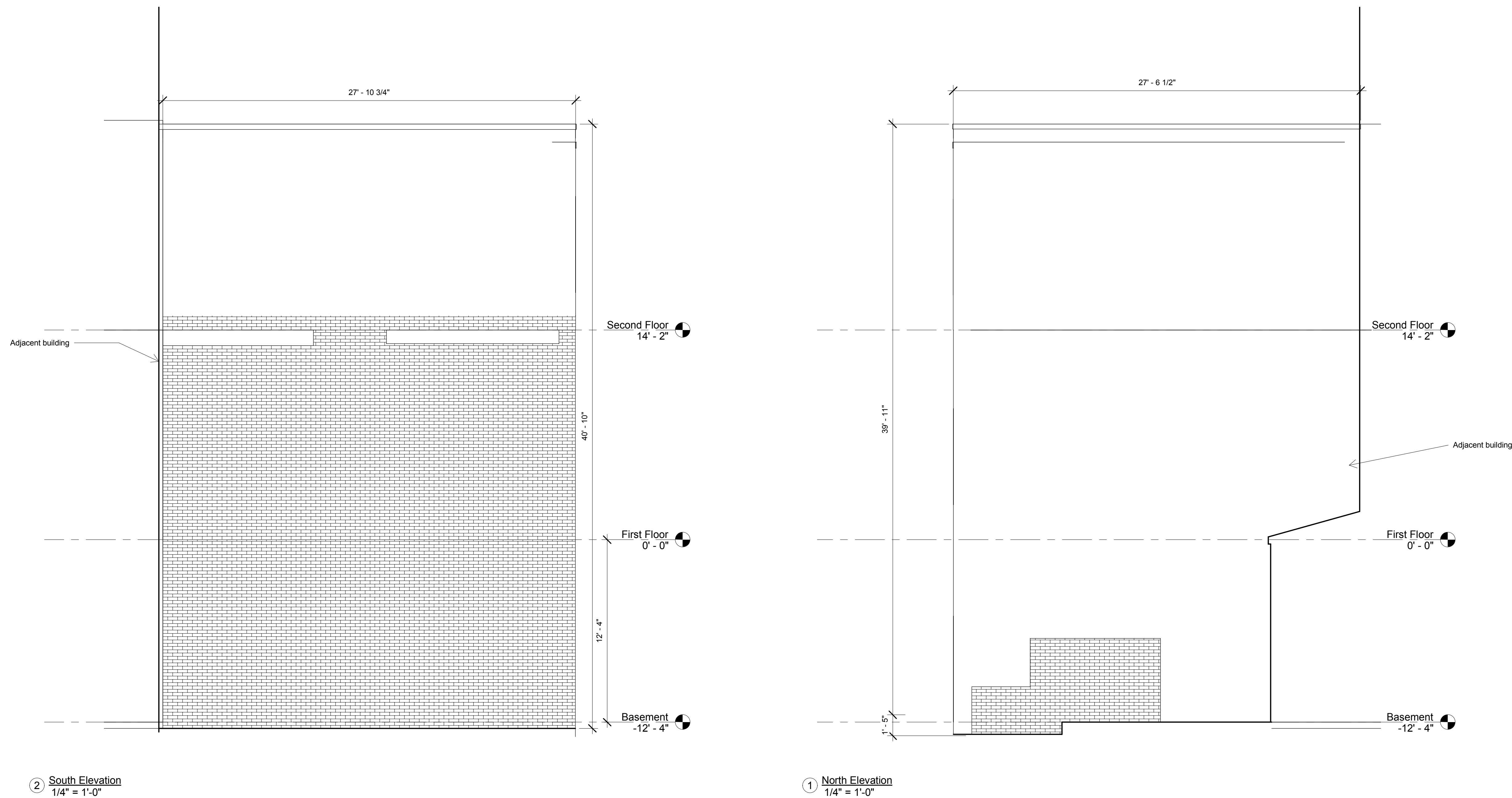
**Existing Exterior
Elevations**

Date: 11/22/2021

Scale: 1/4" = 1'-0"

Drawn By: EC

EX04



② South Elevation
1/4" = 1'-0"

① North Elevation
1/4" = 1'-0"

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Revision Schedule

Revision Number	Revision Description	Revision Date

Existing Exterior Elevations

Date: 11/22/2021

Scale: 1/4" = 1'-0"

Drawn By: EC

EX05



Note: Heights of adjacent properties were not part of the scope of work and are added as a courtesy. These dimensions are a reference only and not to be used for permitting, construction or any other use.

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Revision Schedule

Revision Number	Revision Description	Revision Date

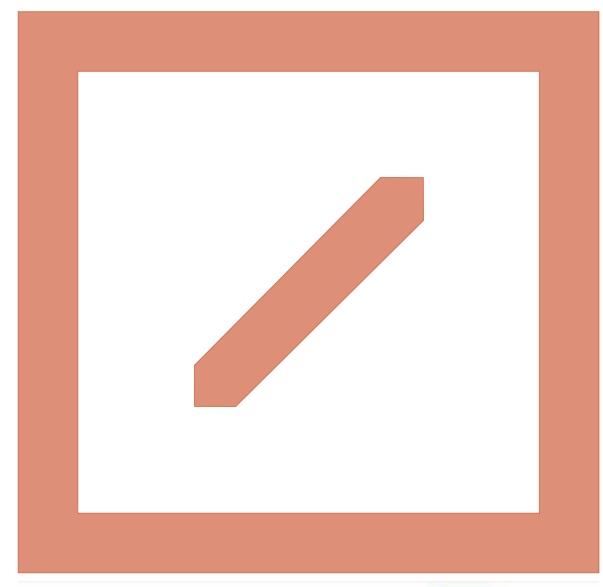
**Existing Exterior
Elevations**

Date: 11/22/2021

Scale: 1/4" = 1'-0"

Drawn By: EC

EX06



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BOSTON, MA

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434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
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CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

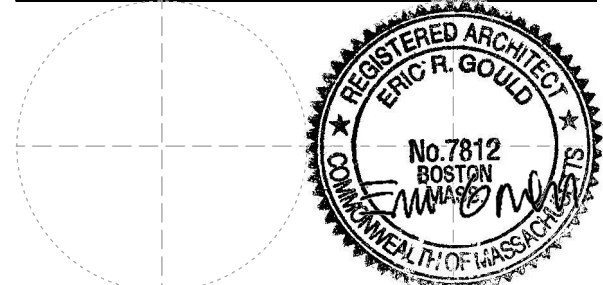
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	05.06.22	PERMIT SET

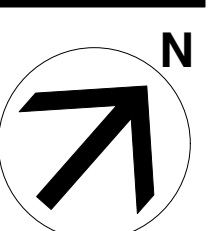
stamp



date 05.06.22

phase PERMIT SET

north



sheet title

BUILDING PLOT / BOUNDARY PLAN

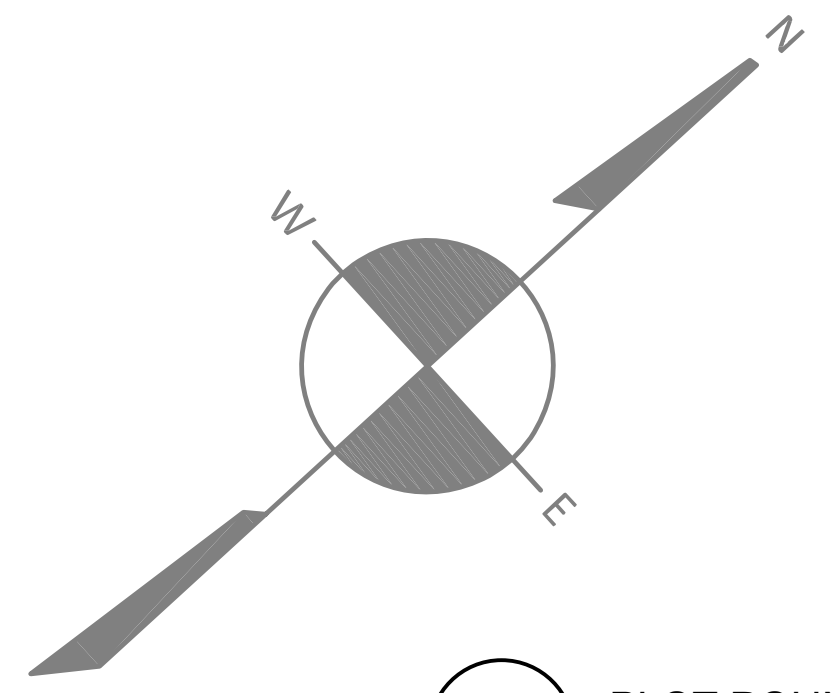
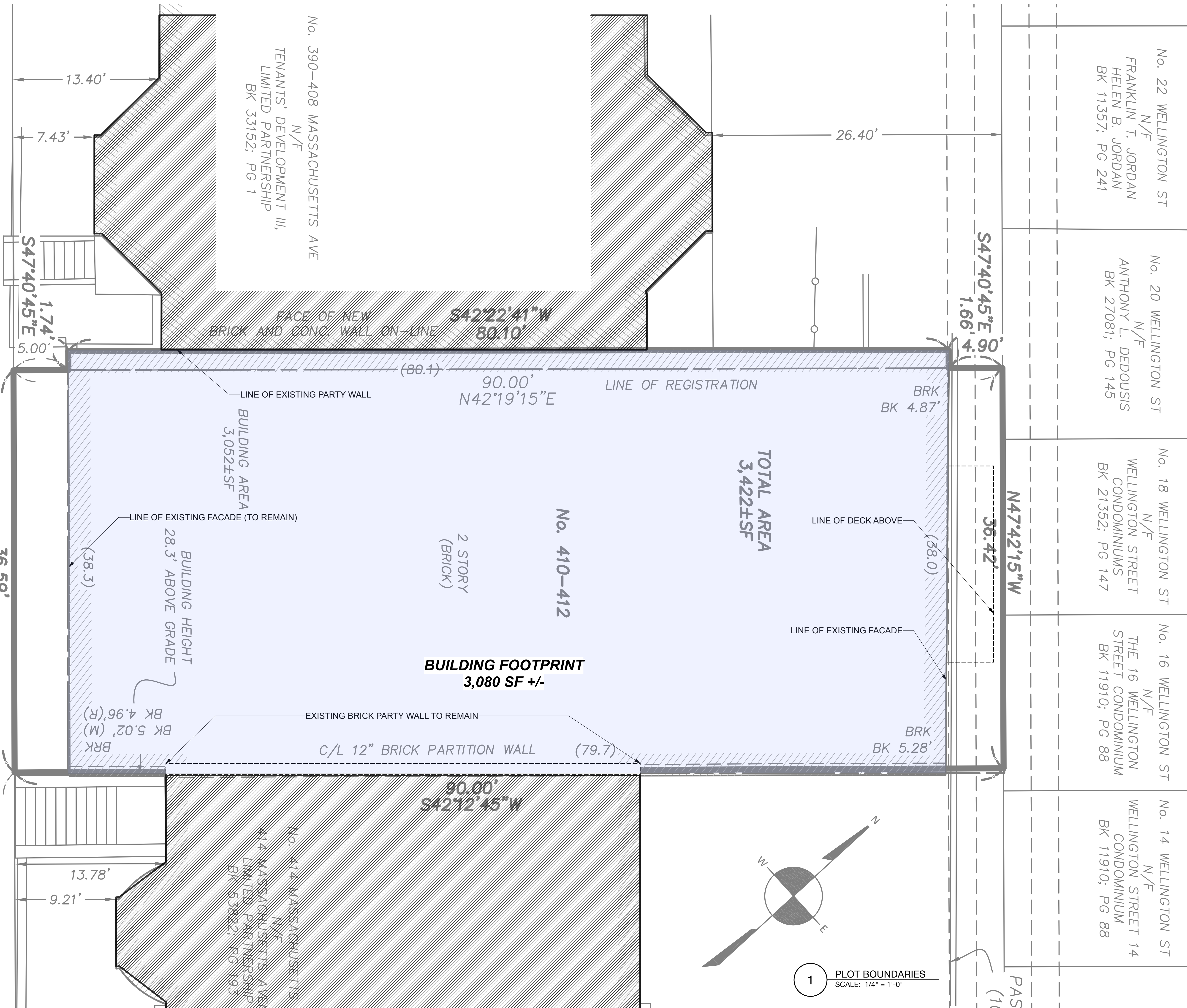
DRWN / CHCKD

sheet number

AC.100

OF

scale



1 PLOT BOUNDARIES
SCALE: 1/4" = 1'-0"

No. 22 WELLINGTON ST
N/F
FRANKLIN T. JORDAN
HELEN B. JORDAN
BK 11357; PG 241

No. 20 WELLINGTON ST
N/F
ANTHONY L. DEDOUSIS
BK 27081; PG 145

No. 18 WELLINGTON ST
N/F
WELLINGTON STREET
CONDOMINIUMS
BK 21352; PG 147

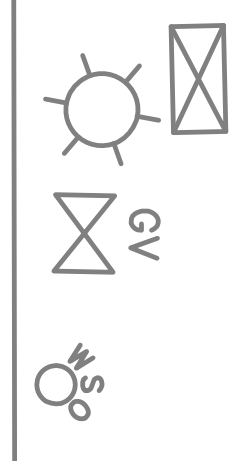
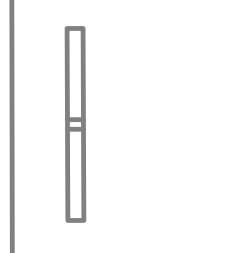
No. 16 WELLINGTON ST
N/F
THE 16 WELLINGTON
STREET CONDOMINIUM
BK 11910; PG 88

No. 14 WELLINGTON ST
N/F
WELLINGTON STREET 14
CONDOMINIUM
BK 11910; PG 88

No. 390-408 MASSACHUSETTS AVE
N/F
TENANTS' DEVELOPMENT III,
LIMITED PARTNERSHIP
BK 33152; PG 1

No. 410-412
2 STORY
(BRICK)

No. 414 MASSACHUSETTS
N/F
414 MASSACHUSETTS AVE
LIMITED PARTNERSHIP
BK 53822; PG 193



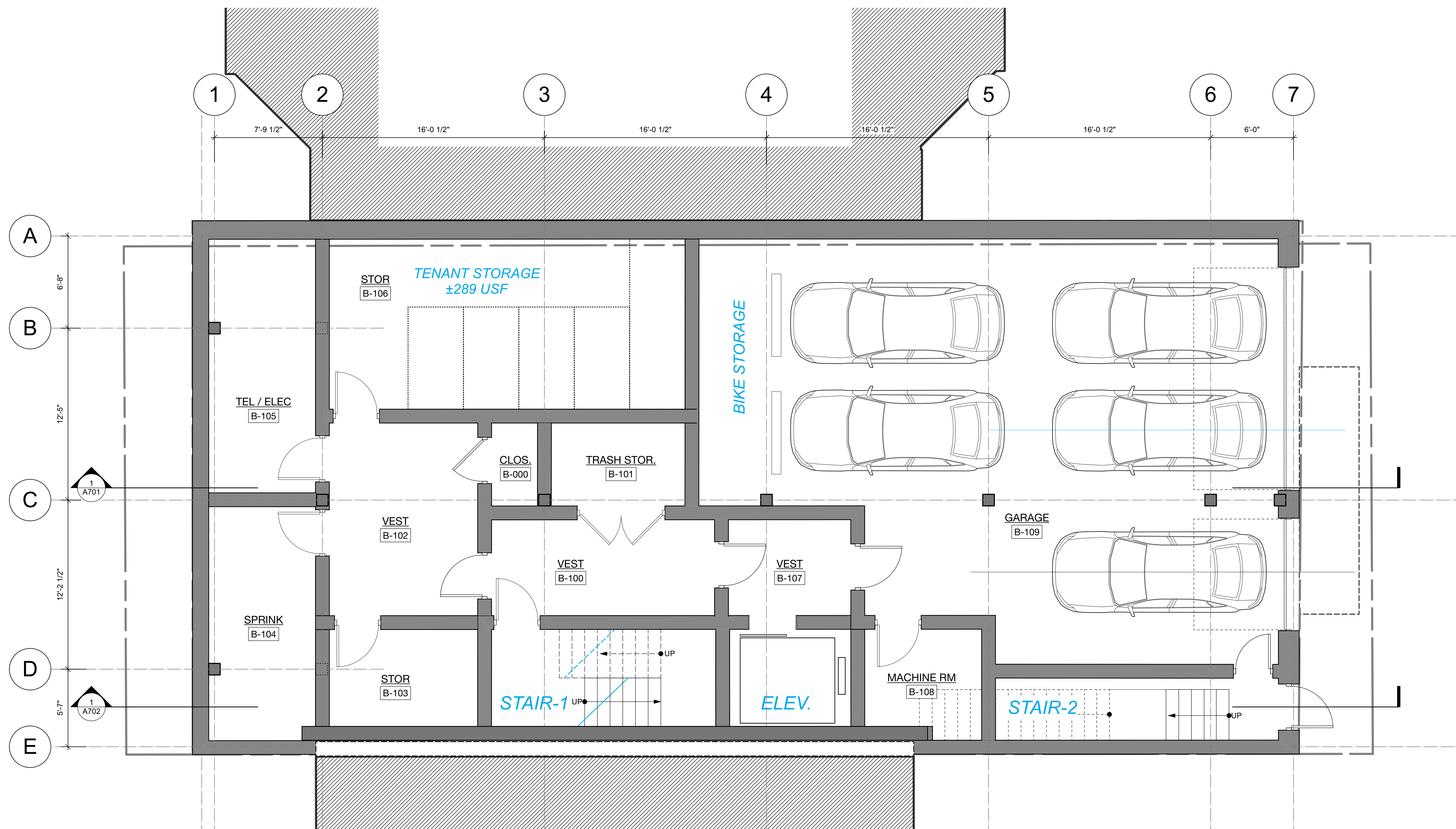
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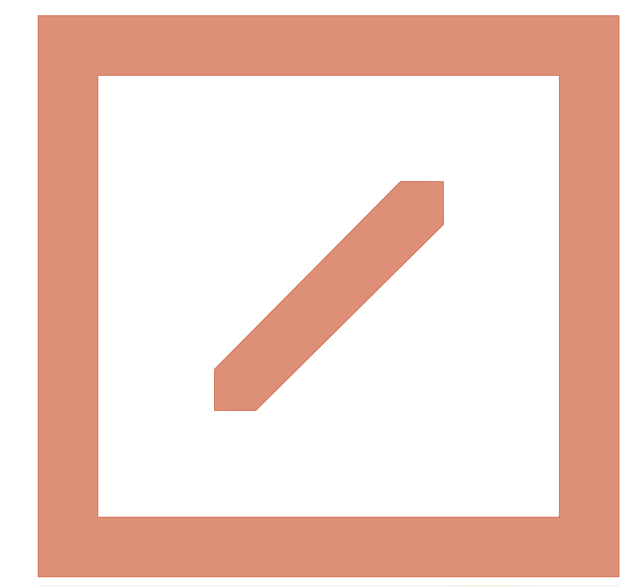
C

B

A



1 BASEMENT LEVEL - FLOOR PLAN
SCALE: 1/4" = 1'-0"



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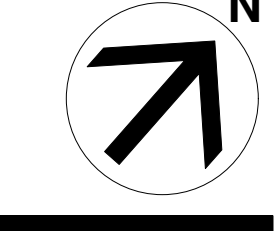
stamp



date 05.06.22

phase PERMIT SET

north



sheet title

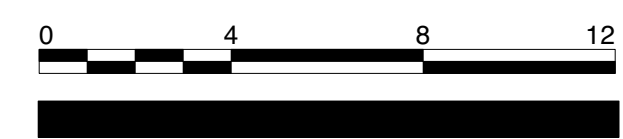
BASEMENT
PROPOSED PLAN

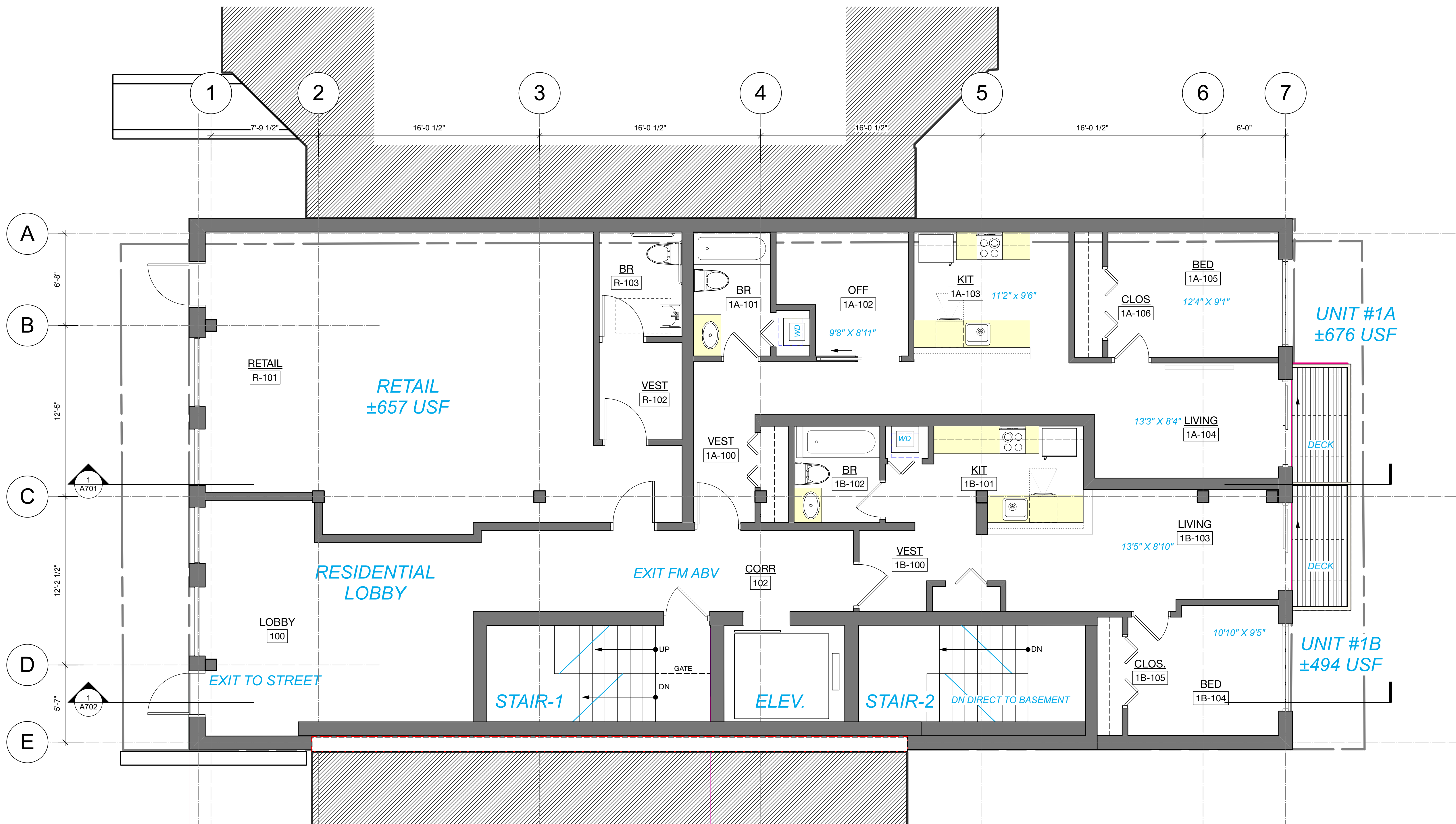
DRWN / CHCKD
sheet number

A.100

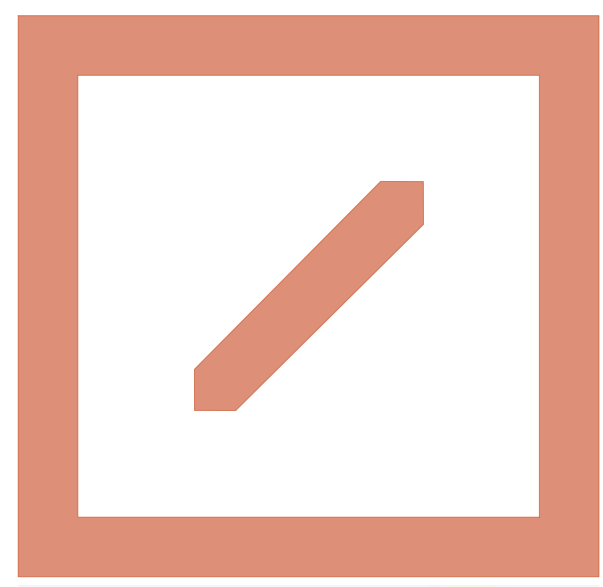
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1 FIRST FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"



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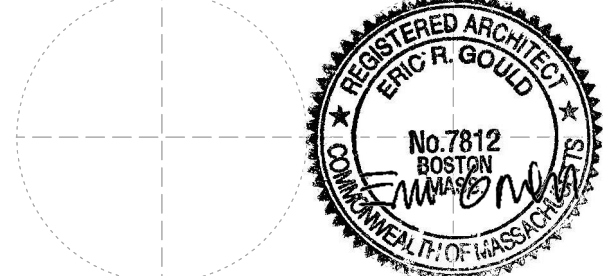
MEP

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MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET

stamp



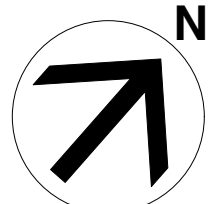
date

05.06.22

phase

PERMIT SET

north



sheet title

FIRST FLOOR
PROPOSED PLAN

DRWN / CHCKD

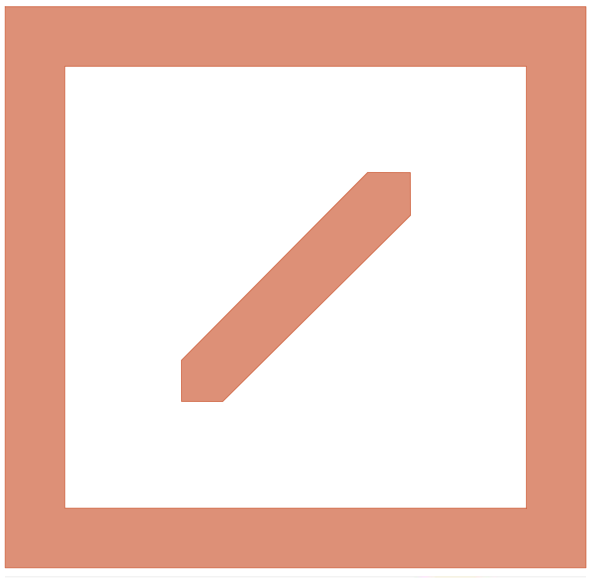
sheet number

A.110

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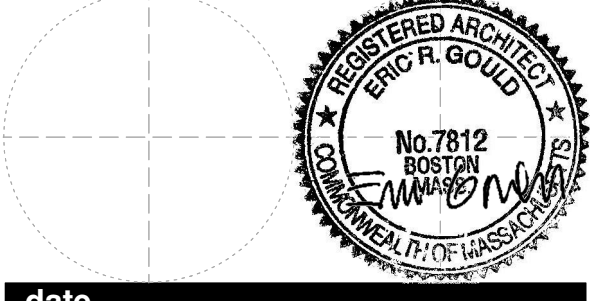
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MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET

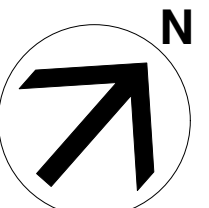
stamp



date
 05.06.22

phase
 PERMIT SET

north

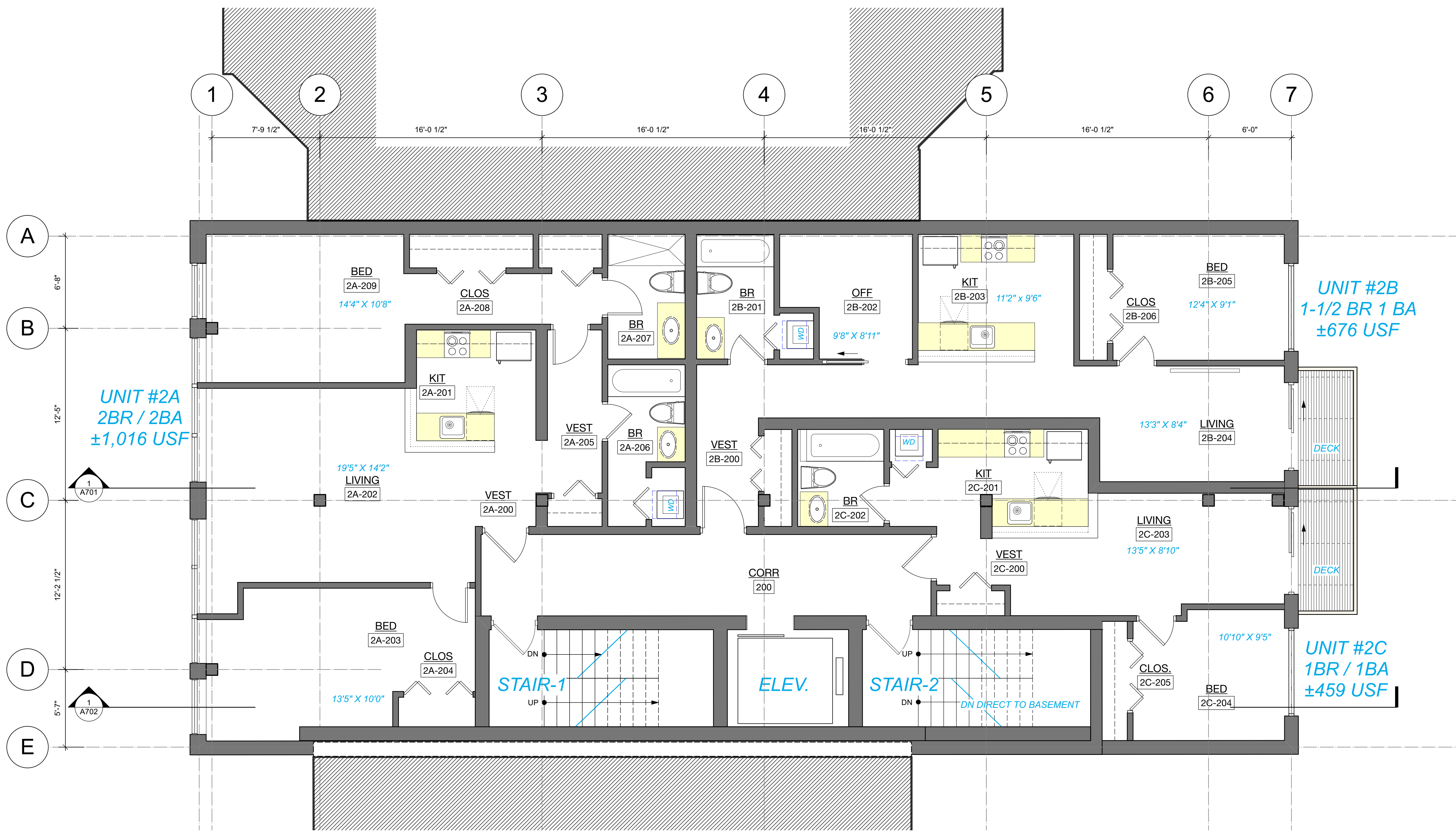
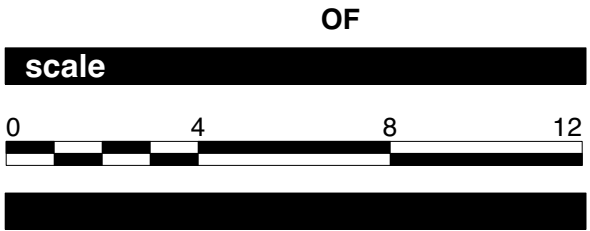


sheet title

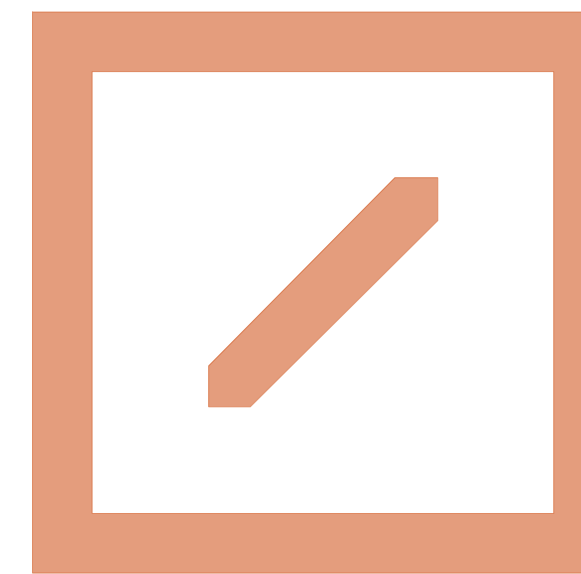
SECOND FLOOR PROPOSED PLAN

DRWN / CHCKD
 sheet number

A.120
 OF



1 SECOND FLOOR - FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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**ADDITIONS AND
PLANNING STUDIES**

410 MASSACHUSETTS AVE.
BOSTON, MA

CAD FILE:

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

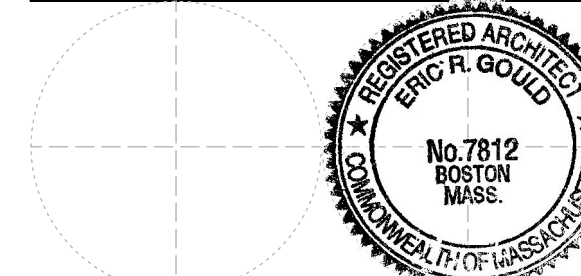
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



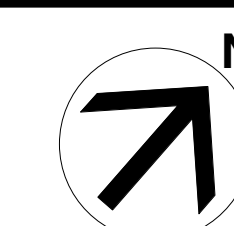
date

05.06.22

phase

PERMIT SET

north



sheet title

THIRD FLOOR
PROPOSED PLAN

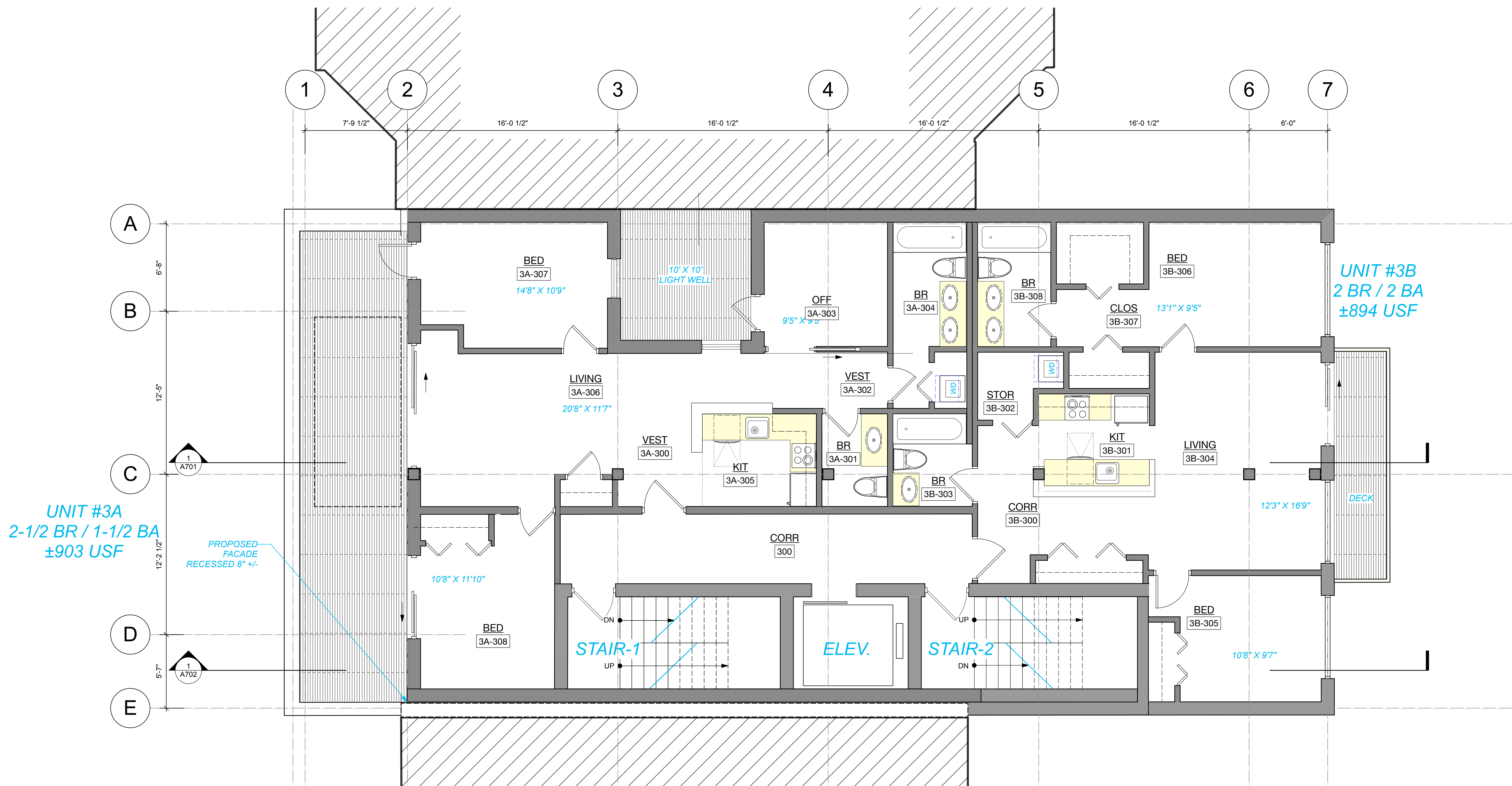
DRWN / CHCKD

sheet number

A.130

OF

scale



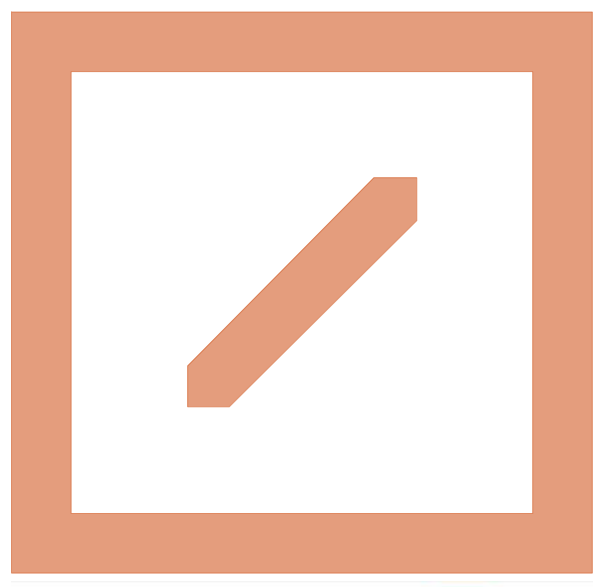
6 5 4 3 2 1

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A



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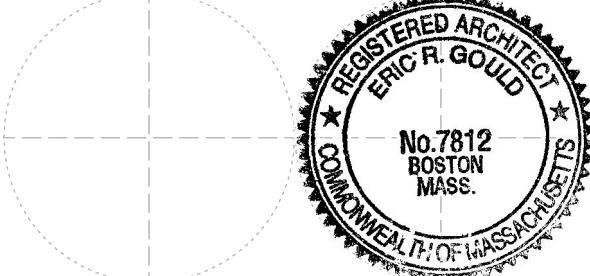
MEP

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	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



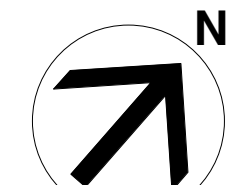
date

05.06.22

phase

PERMIT SET

north



sheet title

FOURTH FLOOR
PROPOSED PLAN

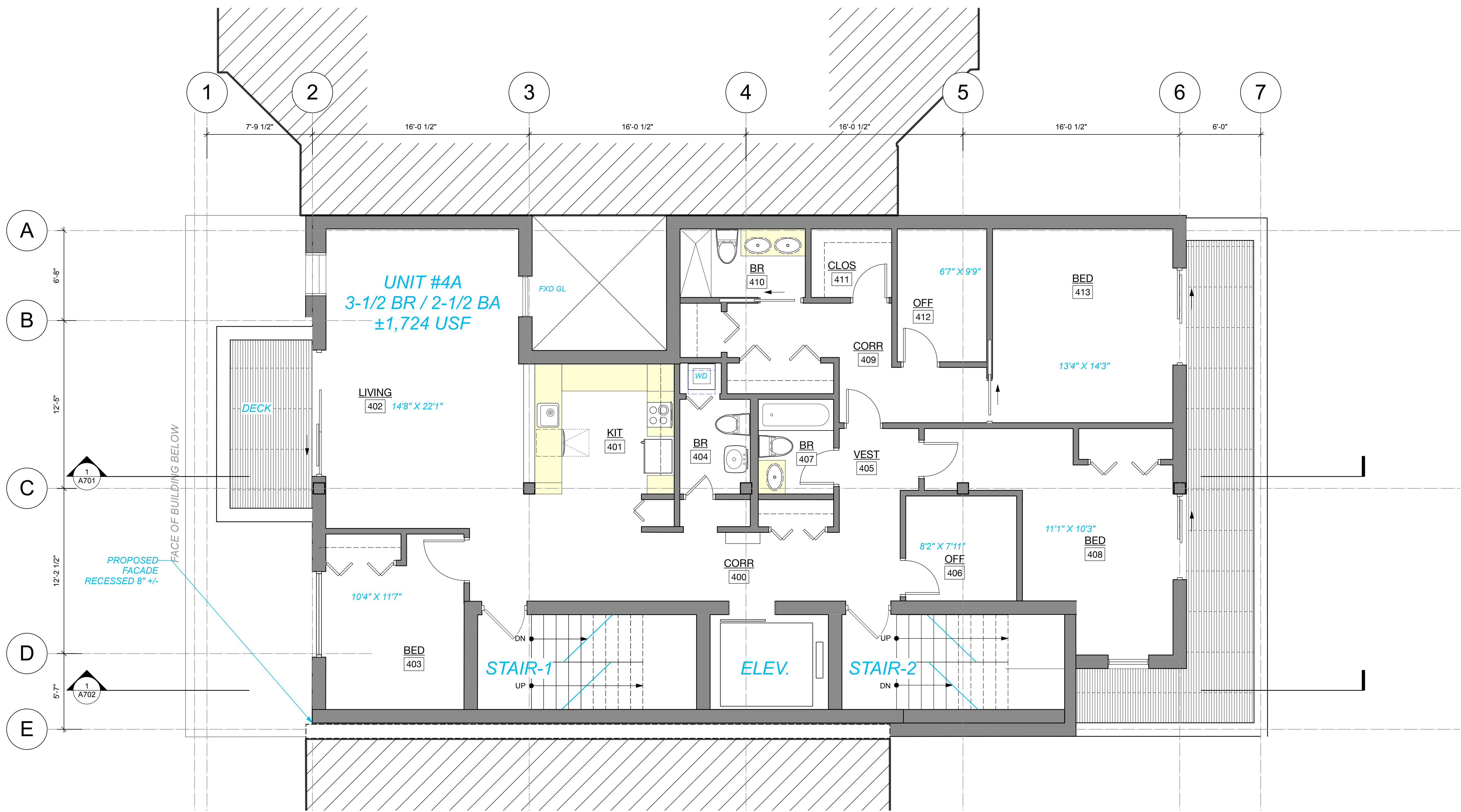
DRWN / CHCKD

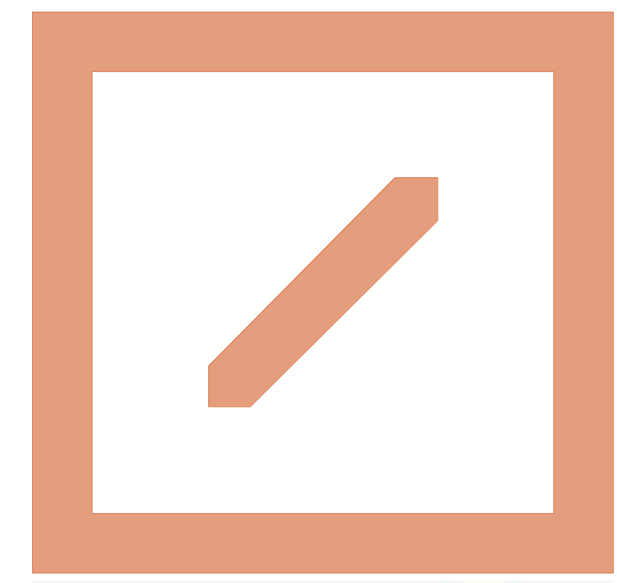
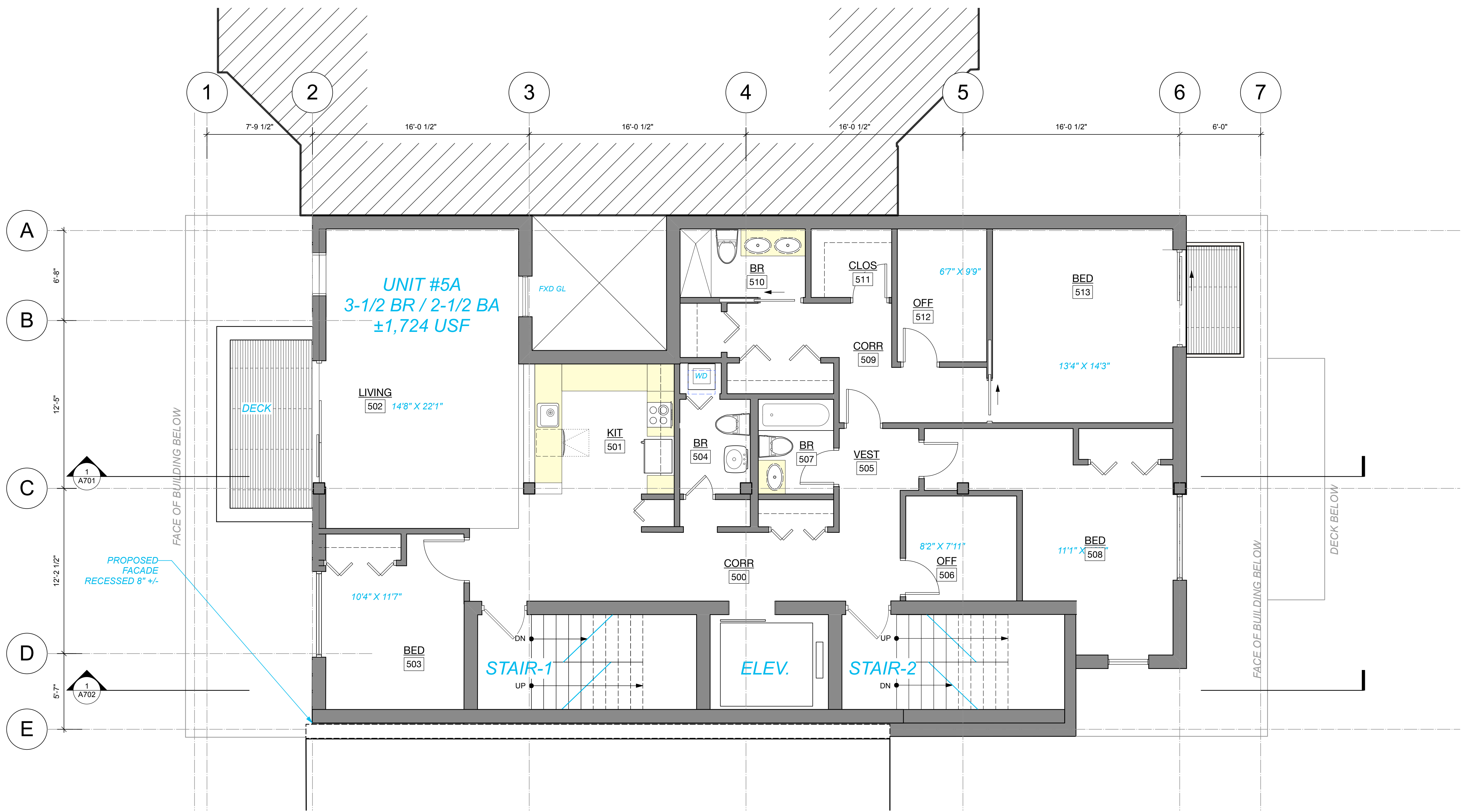
sheet number

A.140

OF

scale





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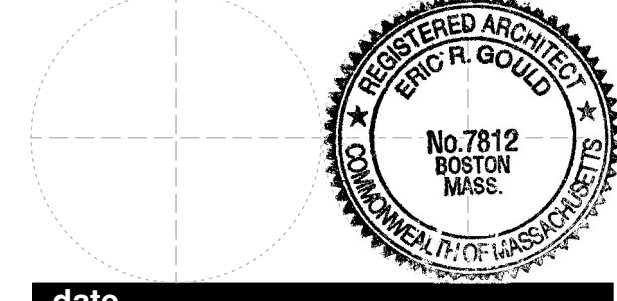
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issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

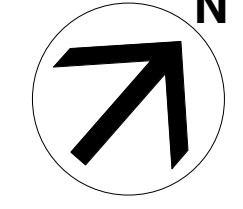
stamp



date 05.06.22

phase PERMIT SET

north



sheet title

FIFTH FLOOR PROPOSED PLAN

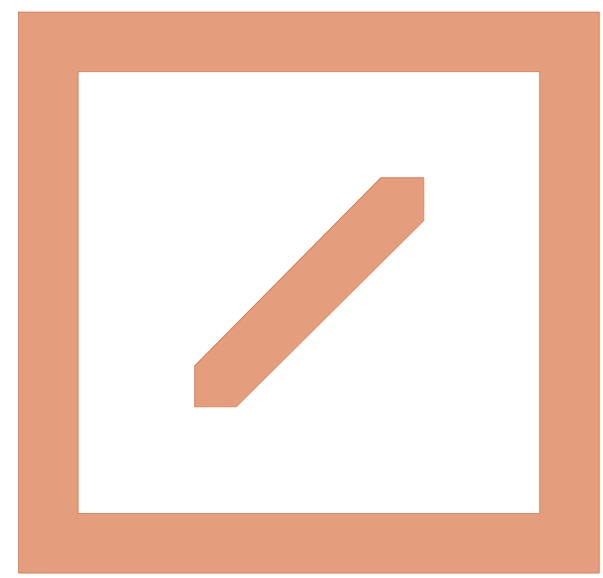
DRWN / CHCKD
sheet number

A.150

OF

scale

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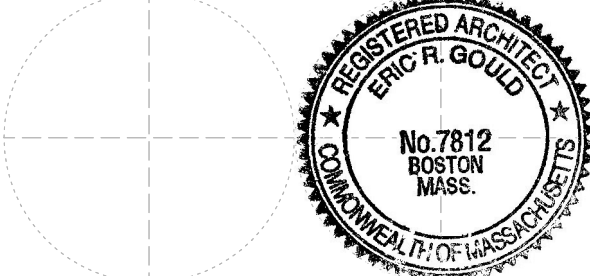
MEP

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 ADDRESS
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MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

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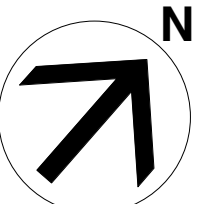
date

05.06.22

phase

PERMIT SET

north



sheet title

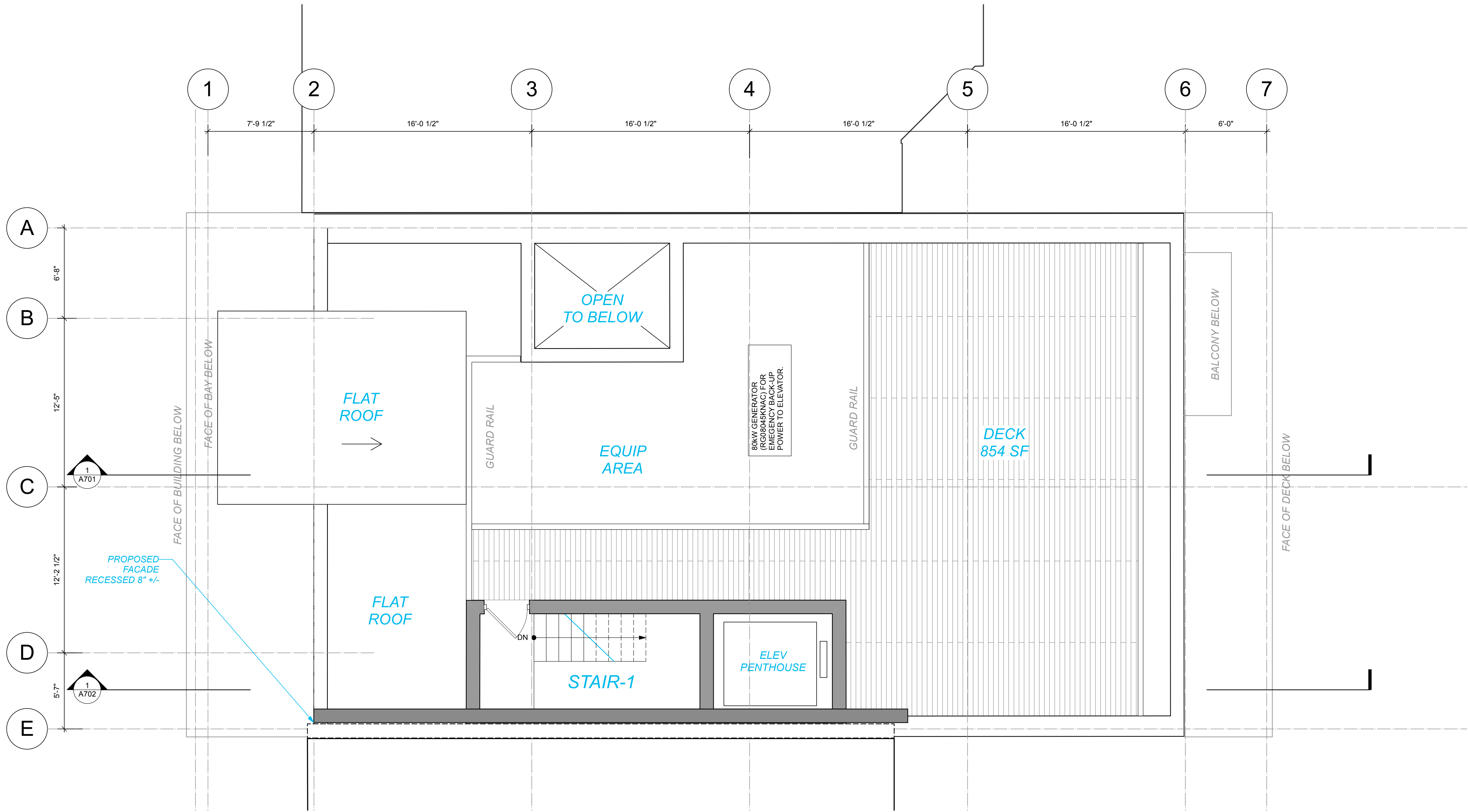
ROOF LEVEL
 PROPOSED PLAN

DRWN / CHCKD
sheet number

A.160

scale

AS NOTED





MAX HEIGHT @ STREET
 70'-0"
 ABUTTER ROOF @ ST. SETBACK
 61'-0"
 ROOF
 60'-3" +/-
 T.O. PARAPET
 52'-1"
 5TH FL
 48'-7"
 4TH FL
 36'-10 1/2"
 T.O. FINIAL
 32'-11 1/2"
 3RD / ROOF EXIST. +/-
 27'-0"
 3RD FL NEW +/-
 25'-2 1/2" +/-
 2ND FL EXIST. +/-
 14'-2"
 2ND FL NEW +/-
 13'-6"
 1ST FL EXIST. +/-
 0'-0"

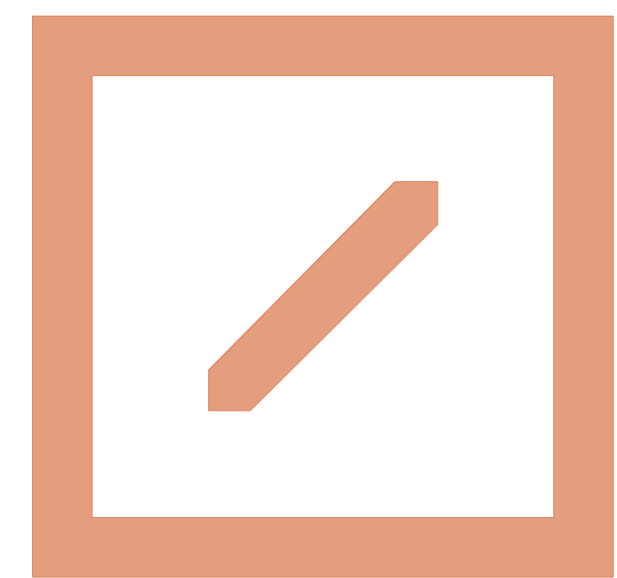
STAIR PENHOUSE BEYOND
 STAINED 6" HDWD GUARD WALL RAILS 8" O.C., THROUGH-BOLTED W/ PTD STEEL GD POSTS BEHIND.
 COMPOSITE TENMPERED DOUBLE-INSULATED COMPOSITE WINDOW ASSEMBLY, METAL CLAD.
 FIBER CEMENT PANELS, PTD., W/ RECESSED MET. SURROUND REVEALS, SEE A601B.

EXISTING MASONRY PARTY WALL PER CIVIL PLAN; PROPOSED FACADE RECESSED 8" +/-
 RENOVATED EXIST. PARAPET
 REPAIRED/ NEW COPING AS REQ.
 EXISTING BRICK FACADE; RE-POINTED
 NEW WINDOWS, FXD. INSULATED TEMP. GL; MATCH EXISTING DIVISION SIZE & STYLE, TYP

NEW ALUMINUM STOREFRONT AND ALUM. CLAD INFILL PANELS
 NEW ALUM CLAD TENANT AND RESIDENT ENTRIES, FULL GL. LITES, EA SIDE

70'-0" (ASSUMED MAX HT @ STREET)
 61'-0" (MAX HT @ ABUTTER)

43'-0" (T.O. BRACK @ ABUTTER +/-)



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contractor
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 ADDRESS
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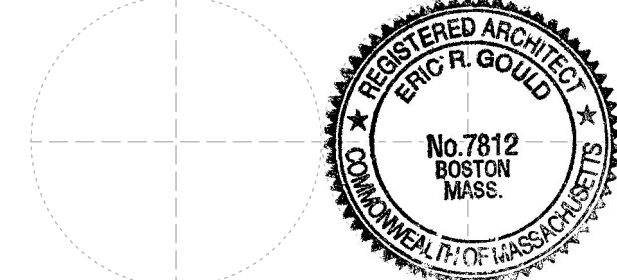
structural
 STRUCTURAL ENGINEER
 ADDRESS
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MEP
 MEP ENGINEER
 ADDRESS
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issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



date
 05.06.22

phase
 PERMIT SET

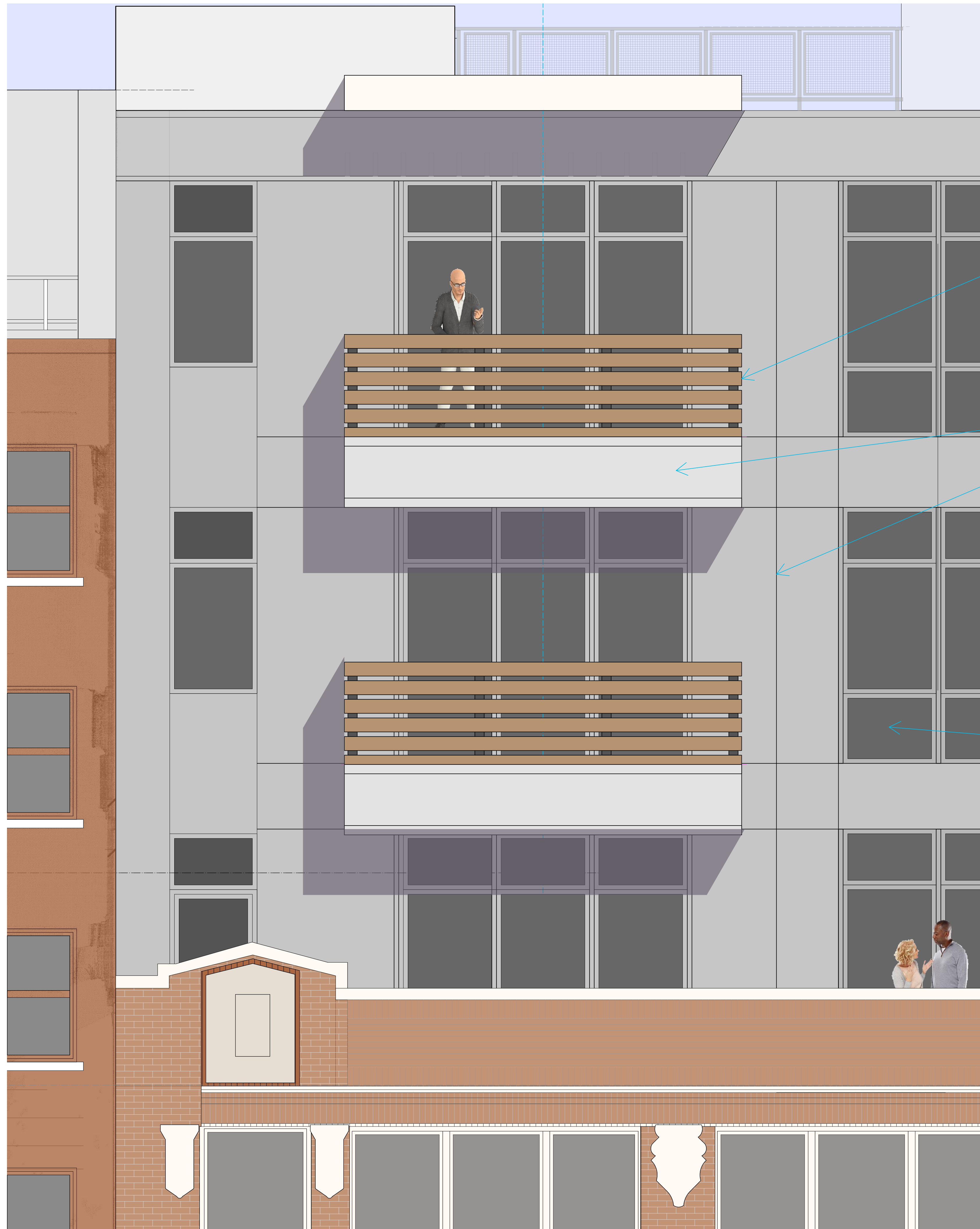
north

sheet title
 PROPOSED FRONT ELEVATION

DRWN / CHCKD
sheet number

A.601
 OF

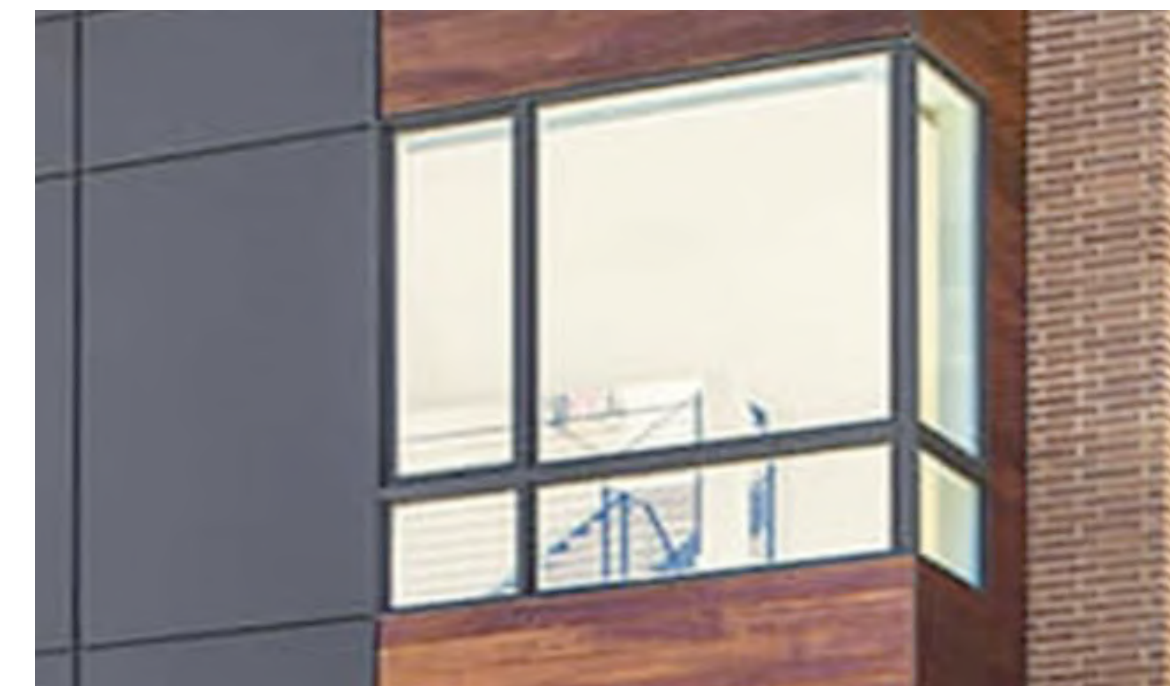
scale
 AS NOTED



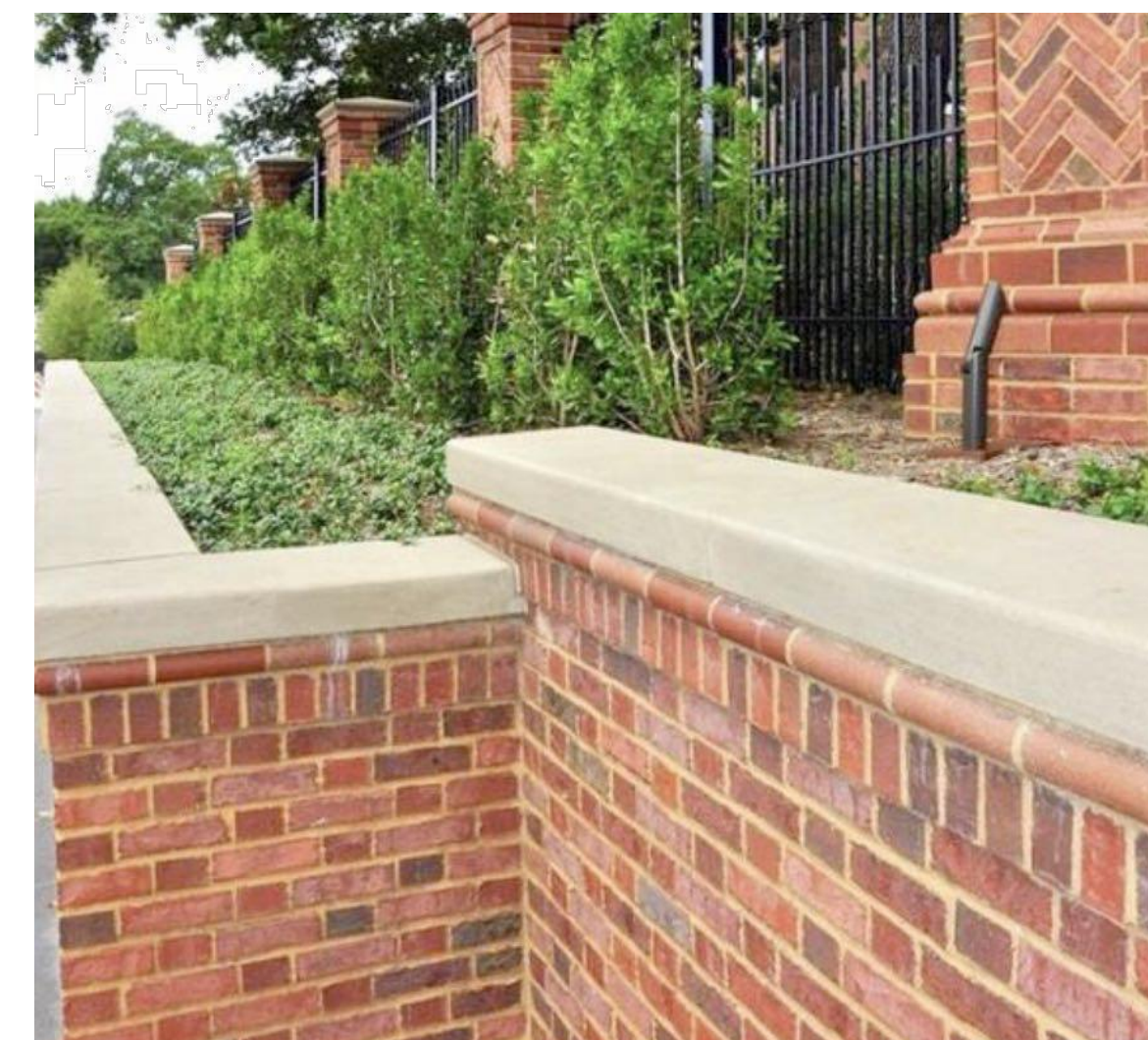
6" HARDWOOD GUARD RAILS, STD., THROUGH-BOLT TO PTD. STL GURD POSTS



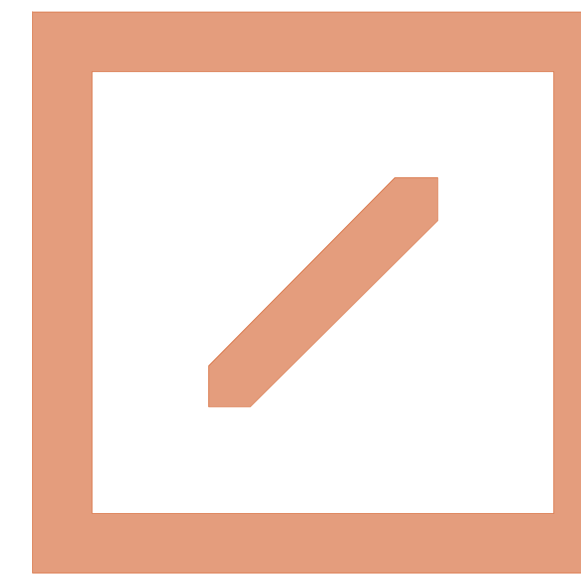
FIBER-CEMENT PANELS WITH METAL SURROUND TRIM, RECESSED REVEALS.



COMPOSITE TEMPERED DOUBLE-INSULATED COMPOSITE WINDOW ASSEMBLY, METAL CLAD



FIBER-CEMENT PANELS WITH METAL SURROUND TRIM, RECESSED REVEALS.



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CAD FILE:

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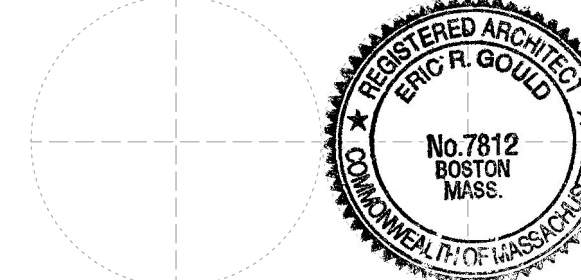
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



date

05.06.22

phase

PERMIT SET

north

sheet title

PROPOSED FRONT ELEVATION

DRWN / CHCKD

sheet number

A.601-B

OF

scale

AS NOTED



70'-0" (ASSUMED MAX HT @ STREET)

61'-0" (MAX HT @ ABUTTER)

MAX HEIGHT @ STREET
70'-0"

ABUTTER ROOF @ ST. SETBACK
61'-0"

ROOF
60'-3" +/-

T.O. PARAPET
52'-1"

5TH FL
48'-7"

4TH FL
36'-10 1/2"

3RD / ROOF EXIST. +/-
27'-0"

3RD FL NEW +/-
25'-2 1/2" +/-

2ND FL EXIST. +/-
14'-2"

2ND FL NEW +/-
13'-6"

1ST FL EXIST. +/-
0'-0"

BASEMENT FIN FLR
-12'-4"

WOOD COMPOSITE
GUARD WALL

DOUBLE PANE,
INSULATED,
THERMALLY BROKEN,
WINDOW UNITS, TYP.

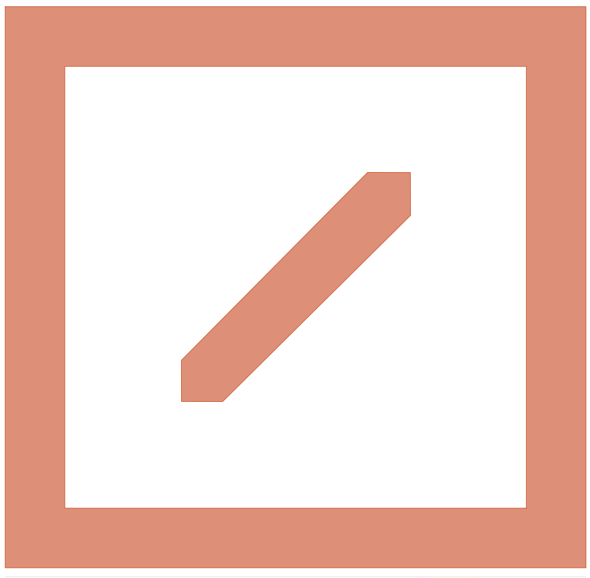
METAL COMPOSITE
PANEL SYSTEM

Second Floor
14'-2"

First Floor
0'-0"

Basement
-12'-4"

1 EXTERIOR ELEVATION - REAR (ALLEY)
SCALE: 1/4" = 1'-0"



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CAD FILE:

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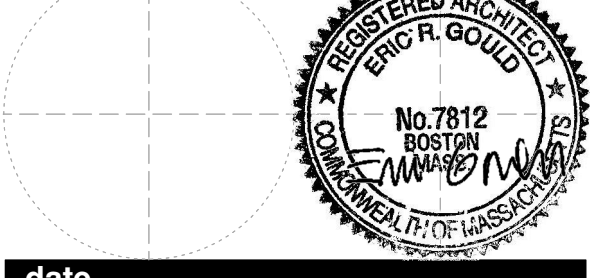
structural
STRUCTURAL ENGINEER
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CITY, STATE ZIP

MEP
MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET

stamp



date
05.06.22

phase
PERMIT SET

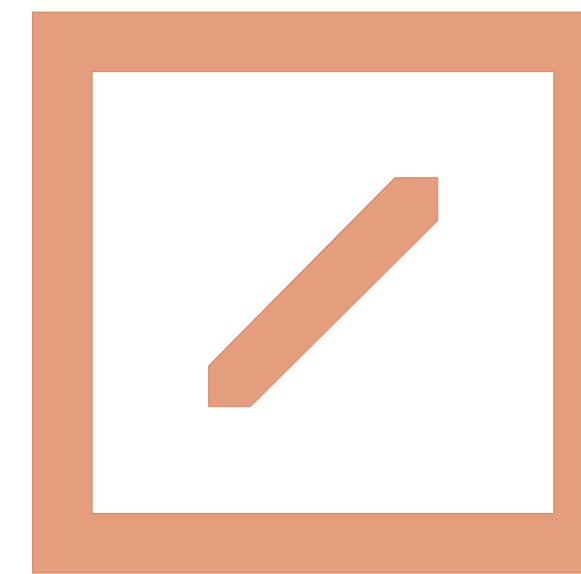
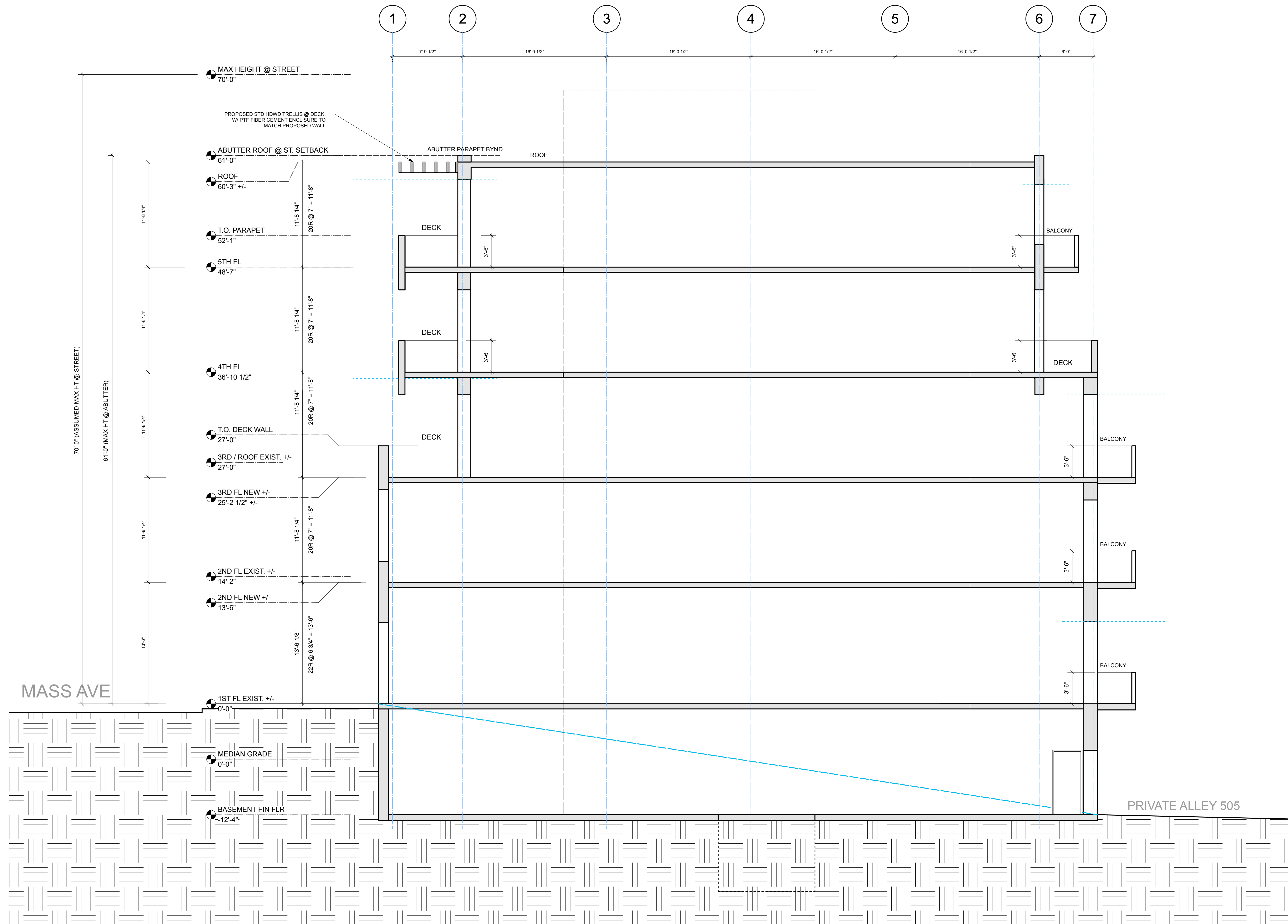
north

sheet title
**PROPOSED
REAR ELEVATION**

DRWN / CHCKD
sheet number

A.602

scale
OF
AS NOTED



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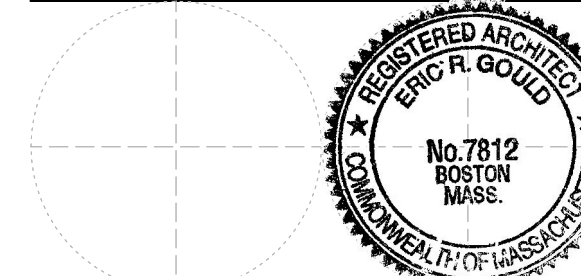
MEP

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issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



date

05.06.22

phase

PERMIT SET

north

sheet title

PROPOSED SECTION

DRWN / CHCKD

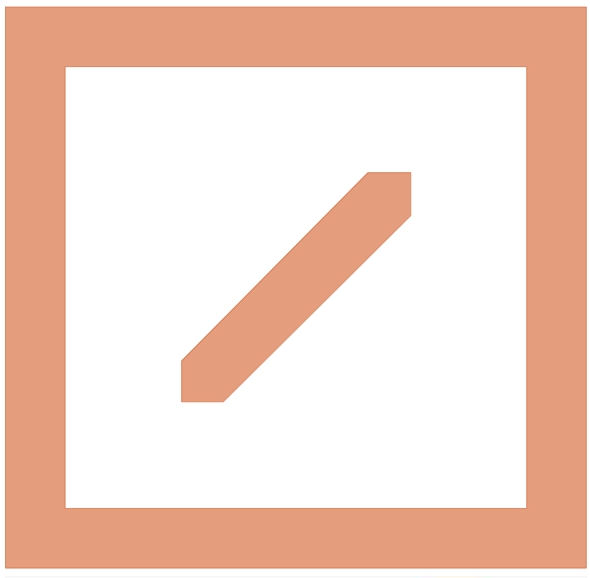
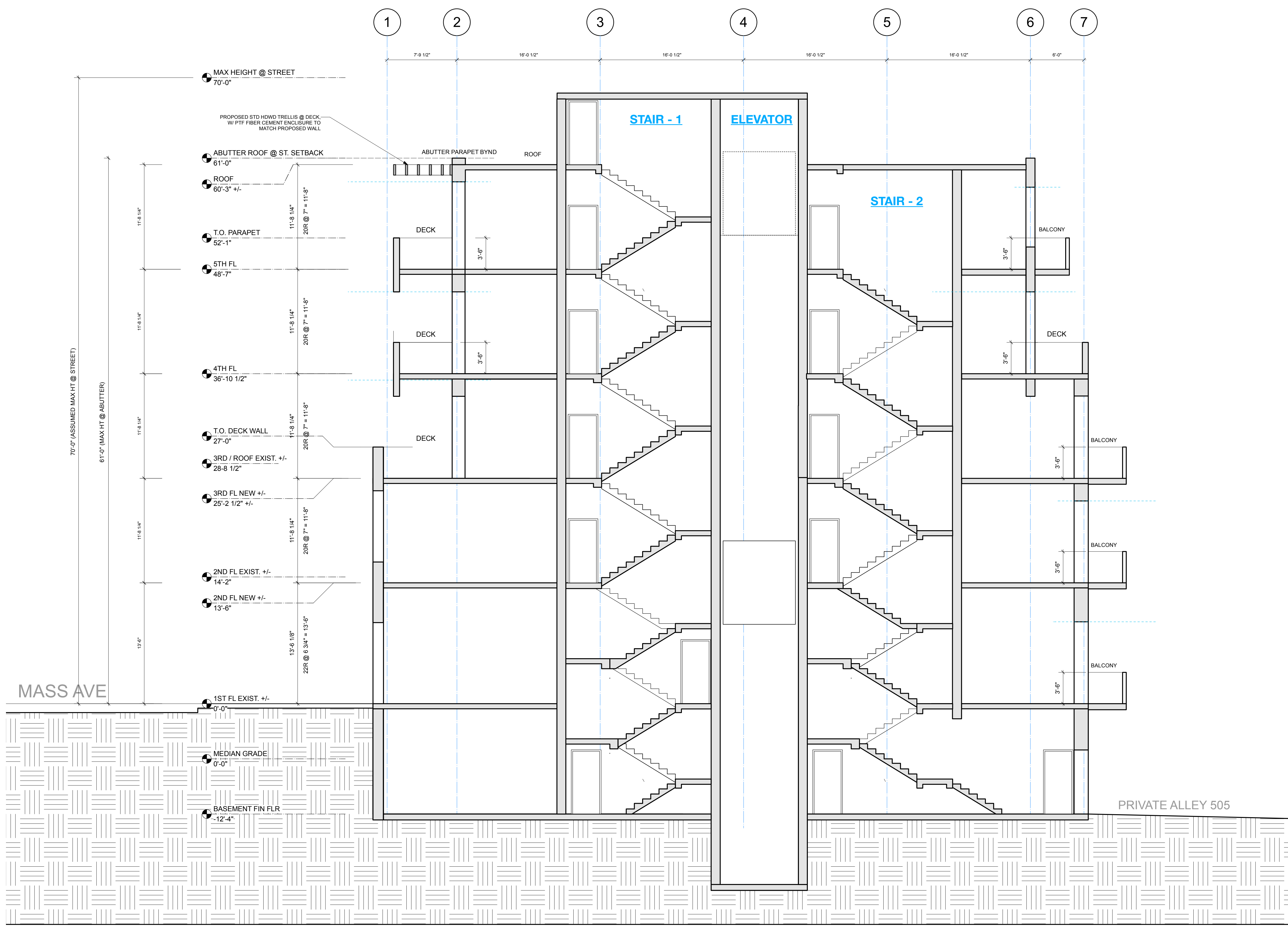
sheet number

A.701

OF

scale

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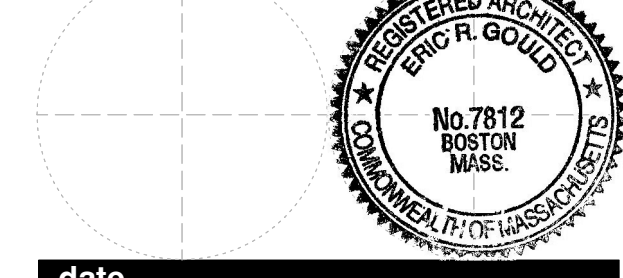
MEP

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issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1

stamp



date

05.06.22

phase

PERMIT SET

north

sheet title

PROPOSED SECTION

DRWN / CHKCD sheet number

A.702

scale

AS NOTED